



VILLAGE OF WINNECONNE

The Community of Opportunity

30 South First Street - P.O. Box 488 - Winneconne, Wisconsin 54986-0488 - 920-582-4381

www.winneconnewi.gov

AMENDED AGENDA

VILLAGE BOARD

Tuesday, October 15, 2024, at 5:30 pm

Village Board Room, 30 South First Street

Call to Order

Roll Call Foster, Kubasta, Olson, Bouras, Janikowski, Stelzner, Boucher

Pledge of Allegiance

Regular Business

Consideration and action to approve consent agenda and payment of bills:

- September 17, 2024, Treasurer's Report/Balance Sheet
- September 17, 2024, Budget Comparisons
- September 2024 Check Register

Consideration and action to approve September 17, 2024, Village Board Minutes

Communications

Public Participation

Administrator's Report

Committee Reports

Beautification, Cemetery, Fire District, Historic Preservation, Library, Parks, Personnel & Finance, Plan Commission, Public Safety, Public Works

Old Business

New Business

Consideration and action to approve the purchase of vehicles for Police and Public Works as proposed under the fleet management plan to the Personnel and Finance Committee.

Consideration and action to approve the use of remaining ARPA funds to be split between Police and Public Works for the construction of a firing range and UTV.

Consideration and action to approve the Village Administrator employment agreement.

Consideration and action to approve the Verizon contract for rent of the water tower

Consideration and action to approve the contract for sludge hauling

Consideration and action to approve change order number 1 for the reconstruct of Birch Street in the amount of \$10,416.42 due to soil conditions.

Consideration and action to approve the CSM for 634 Riverview Dr., combining parcels 191-0221 and 191-0222.

Consideration and action to approve the Personnel Policy Handbook.

Consideration and action to approve 2025 health care offerings for Village employees.

Consideration and action to move into closed session pursuant to Wisconsin State Statute 19.85(1)(c) to consider employment, promotion, compensation or performance evaluation date of public employees.

Discussion of Village Administrator employment agreement

Consideration and action to move into open session.

Consideration and action to possibly approve Administrator Fuller's employment agreement.

Adjourn

The Winneconne Municipal Center is accessible to the physically disadvantaged. If special accommodations are necessary, please contact the Village Hall at 920-582-4381 and we will make every effort to accommodate the requests.

Notice of this meeting was posted at the following locations: Village Hall, 30 S. 1st St., Winneconne, Premier Bank, 927 Main St., Winneconne, Winneconne Post Office, 34 S. 2nd St, Winneconne, Village website

VILLAGE OF WINNECONNE, WISCONSIN
MONTHLY TREASURER'S REPORT
September 30, 2024

	<u>TOTAL CASH AND INVESTMENTS</u>	<u>Interest Earned</u>
Local Government Investment Pool	\$ 5,276,902.47	\$ 23,175.69
Premier Community Bank Checking - Bank Recon Balance	\$ 333,237.39	\$ 859.63
Subtotal Pooled Cash	<u>\$ 5,610,139.86</u>	
Premier Community Bank Library checking	\$ 381.48	
Premier Community Bank Christmas fund	\$ 6,069.31	\$ 0.10
Petty Cash	\$ 900.00	
TOTAL VILLAGE CASH AND INVESTMENTS	<u><u>\$ 5,617,490.65</u></u>	<u><u>\$ 24,035.42</u></u>

CASH AND INVESTMENT DETAIL BY FUND

UNRESTRICTED CASH

General fund	\$ 1,705,836.72
Solid Waste/Recycling	\$ 153,281.66
Water Fund	\$ (143,112.71)
Water Fund - Tower repainting	\$ 194,959.29
Sewer Fund	\$ 1,423,105.88
Stormwater Fund	\$ 265,310.28
Petty Cash	\$ 900.00

RESTRICTED CASH

Library checking - restricted for Library	\$ 381.48
Christmas Crusade	\$ 6,069.31
Cemetery Care	\$ 87,144.85
Cemetery Perpetual Care	\$ 84,110.28
Sewer Equipment Replacement	\$ 233,498.46
ARPA Funds	\$ 462,544.31
Beautification Funds	\$ 5,726.73
Park Donation Funds	\$ 1,218.53
Library Donations	\$ 12,303.46
Sewer Debt Service	\$ 224,510.41
Community Development (CDBG)	\$ 26,576.57
Debt Service - special assessments collected -future debt	\$ 148,887.93
Debt Service - current year levy for current year debt	\$ 469,493.06
TID No. 3	\$ 45,197.22
TID No. 5	\$ 195,095.23
TID No. 6	\$ 205,832.64
TID No. 7	\$ 10,530.37
TID No. 8	\$ (26,030.35)
TID No. 3,5,6	\$ (6,975.00)
Capital Projects	\$ (168,905.96)
	<u>\$ 5,617,490.65</u>

* Interest earned moved to cemetery care fund quarterly

\$

Dated From: 1/01/2024

Fund: All Funds

Thru: 9/30/2024

Account Number		Debit	Credit
101-00-11007-000-000	LIBRARY CHECKING	381.48	
101-00-11008-000-000	CHRISTMAS CRUSADE	6,069.31	
101-00-11111-000-000	POOLED CASH GENERAL FUND	1,705,836.72	
202-00-11111-000-000	POOLED CASH CEMETERY CARE	87,144.85	
203-00-11111-000-000	POOLED CASH CEM PERPETUAL CARE	84,110.28	
205-00-11111-000-000	POOLED CASH TID NO. 5	195,095.23	
208-00-11111-000-000	POOLED CASH TID NO. 3	45,197.22	
209-00-11111-000-000	POOLED CASH TID NO. 6	205,832.64	
210-00-11111-000-000	POOLED CASH TID NO. 7	10,530.37	
211-00-11111-000-000	POOLED CASH TID NO. 8		26,030.35
212-00-11111-000-000	POOLED CASH ARPA FUNDS	462,544.31	
213-00-11111-000-000	POOLED CASH TIF #3, 5, 6		6,975.00
219-00-11111-000-000	POOLED CASH LIBRARY DONATIONS	12,303.46	
221-00-11111-000-000	POOLED CASH BEAUTIFICATION	5,726.73	
222-00-11111-000-000	POOLED CASH PARK DONATIONS	1,218.53	
230-00-11111-000-000	POOLED CASH SOLID WASTE/RECYCL	153,281.66	
291-00-11111-000-000	POOLED CASH COMMUNITY DEVELOP	26,576.57	
301-00-11111-000-000	POOLED CASH DEBT SERVICE NEW	618,380.99	
500-00-11111-000-000	POOLED CASH GENERAL CAPITAL		168,905.96
601-00-11111-000-000	POOLED CASH WATER UTILITY NEW	51,846.58	
602-00-11111-000-000	POOLED CASH SEWER UTILITY NEW	1,881,114.75	
603-00-11111-000-000	POOLED CASH STORMWATER	265,310.28	
101-00-11800-000-000	PETTY CASH	350.00	
101-00-11801-000-000	PETTY CASH	50.00	
101-00-11802-000-000	PETTY CASH - PD	500.00	
CASH AND MARKETABLE SECURIT		5,617,490.65	

Fund: 101 - GENERAL FUND

Account Number		2024 September	2024 Actual 09/30/2024	2024 Budget	Budget Status	% of Budget
101-00-40000-000-000	GENERAL REVENUE OFFSET	0.00	0.00	-1,430,596.64	1,430,596.64	0.00
101-10-40000-000-000	GENERAL REVENUES ALLOCATION	0.00	0.00	16,773.15	-16,773.15	0.00
101-11-40000-000-000	GENERAL REVENUE ALLOCATION	0.00	0.00	438,074.93	-438,074.93	0.00
101-12-40000-000-000	GENERAL REVENUES ALLOCATION	0.00	0.00	28,233.28	-28,233.28	0.00
101-14-40000-000-000	GENERAL REVENUES ALLOCATION	0.00	0.00	518,294.89	-518,294.89	0.00
101-15-40000-000-000	GENERAL REVENUES ALLOCATION	0.00	0.00	63,603.03	-63,603.03	0.00
101-17-40000-000-000	GENERAL REVENUES ALLOCATION	0.00	0.00	114,079.49	-114,079.49	0.00
101-18-40000-000-000	GENERAL REVENUES ALLOCATION	0.00	0.00	20,457.92	-20,457.92	0.00
101-19-40000-000-000	GENERAL REVENUES ALLOCATION	0.00	0.00	142,795.50	-142,795.50	0.00
101-20-40000-000-000	GENERAL REVENUES ALLOCATION	0.00	0.00	66,747.71	-66,747.71	0.00
101-22-40000-000-000	GENERAL REVENUES ALLOCATION	0.00	0.00	21,536.74	-21,536.74	0.00
GENERAL REVENUES ALLOCATION		0.00	0.00	0.00	0.00	0.00
101-01-41110-000-000	GENERAL PROPERTY TAXES	0.00	1,239,197.61	1,239,189.00	8.61	100.00
101-01-41310-000-000	TAXES FROM WATER UTILITY	0.00	89,894.00	87,000.00	2,894.00	103.33
101-01-41320-000-000	TAXES FROM HOUSING AUTHORITY	0.00	26,241.28	14,500.00	11,741.28	180.97
TAXES		0.00	1,355,332.89	1,340,689.00	14,643.89	101.09
101-01-43410-000-000	STATE SHARED REVENUES	0.00	83,933.87	290,743.00	-206,809.13	28.87
101-01-43411-000-000	PERSONAL PROPERTY STATE AIDE	0.00	562.44	380.00	182.44	148.01
101-01-43412-000-000	VIDEO SERVICE STATE AID	0.00	7,776.22	7,776.00	0.22	100.00
101-15-43420-000-000	STATE SHARED FIRE INSURANCE	0.00	13,341.44	11,500.00	1,841.44	116.01
101-01-43430-000-000	EXEMPT COMPUTER AID	0.00	5,920.70	926.00	4,994.70	639.38
101-14-43521-000-000	POLICE STATE AID TRAINING	0.00	0.00	1,120.00	-1,120.00	0.00
101-14-43529-000-000	STATE GRANTS - SFTY	0.00	467.00	10,000.00	-9,533.00	4.67
101-17-43529-000-000	STATE GRANTS - SFTY	0.00	6,634.00	0.00	6,634.00	0.00
101-17-43530-000-000	STATE TRANSPORTATION AID	0.00	175,093.77	235,758.37	-60,664.60	74.27
101-01-43690-000-000	OTHER STATE AIDS	0.00	257.25	0.00	257.25	0.00
101-19-43720-000-000	LIBRARY AID WINNEBAGO COUNTY	0.00	107,228.00	107,228.00	0.00	100.00
101-18-43740-000-000	WINNEBAGO COUNTY IDB FUNDS	0.00	0.00	4,000.00	-4,000.00	0.00
INTERGOVERNMENTAL REVENUES		0.00	401,214.69	669,431.37	-268,216.68	59.93
101-11-44110-000-000	LIQUOR & MALT BEVERAGE LICENSE	0.00	3,689.50	4,000.00	-310.50	92.24
101-11-44120-000-000	BARTENDER & LICENSES	0.00	1,525.00	1,400.00	125.00	108.93
101-11-44130-000-000	CIGARETTE LICENSES	0.00	300.00	400.00	-100.00	75.00
101-11-44140-000-000	OTHER BUSINESS LICENSES	0.00	10.00	150.00	-140.00	6.67
101-11-44220-000-000	DOG LICENSES	0.00	2,559.48	2,500.00	59.48	102.38
101-11-44300-000-000	BUILDING PERMITS	1,406.20	48,014.80	10,000.00	38,014.80	480.15
101-11-44400-000-000	ZONING PERMITS & FEES	900.00	3,990.14	1,500.00	2,490.14	266.01
101-11-44910-000-000	OTHER PERMITS	300.00	5,600.00	10,500.00	-4,900.00	53.33
101-11-44920-000-000	CHARTER FRANCHISE FEES	0.00	9,801.26	7,500.00	2,301.26	130.68
LICENSES AND PERMITS		2,606.20	75,490.18	37,950.00	37,540.18	198.92
101-12-45110-000-000	COURT PENALTIES & COSTS	2,070.79	23,087.74	15,000.00	8,087.74	153.92
101-14-45130-000-000	PARKING VIOLATIONS	-1,187.00	4,144.00	4,000.00	144.00	103.60
FINES, FORFEITS AND PENALTIES		883.79	27,231.74	19,000.00	8,231.74	143.32
101-11-46110-000-000	CLERK-TREASURER FEES	145.00	1,430.00	1,500.00	-70.00	95.33
101-14-46210-000-000	POLICE FEES	85.00	1,457.20	800.00	657.20	182.15
101-19-46260-000-000	LIBRARY CHARGES	200.00	1,982.86	3,125.00	-1,142.14	63.45

Fund: 101 - GENERAL FUND

Account Number		2024 September	2024 Actual 09/30/2024	2024 Budget	Budget Status	% of Budget
101-17-46310-000-000	HWY CHARGES FOR SERVICE-MAINT	80.55	1,117.47	2,000.00	-882.53	55.87
101-17-46440-000-000	CHARGES FOR WEED NOTICES	0.00	0.00	300.00	-300.00	0.00
101-22-46540-000-000	CEMETERY FEES & PERP CARE INT	675.00	16,490.00	11,000.00	5,490.00	149.91
101-20-46720-322-000	MARBLE PARK RENTAL FEES	125.00	1,540.00	2,500.00	-960.00	61.60
101-20-46720-322-100	LAKE WINNECONNE RENTALS	450.00	2,260.00	7,000.00	-4,740.00	32.29
101-20-46720-322-200	WATERFRONT PARK RENTALS	0.00	425.00	250.00	175.00	170.00
101-20-46730-000-000	MARBLE PARK SWIMMING REVENUES	0.00	39,657.55	50,000.00	-10,342.45	79.32
101-20-46730-312-600	MARBLE PRK REV CONCESSION	0.00	12,981.15	12,000.00	981.15	108.18
101-20-46742-000-000	RECREATION SPONSOR FEES	0.00	150.00	750.00	-600.00	20.00
101-20-46750-000-000	BOAT TRAILER PARKING PERMIT	5,141.71	52,722.72	40,000.00	12,722.72	131.81
101-20-46752-000-000	PIER PASS	4,447.00	9,552.00	10,000.00	-448.00	95.52
101-20-46755-000-000	BOAT SLIP REVENUE	0.00	8,975.00	7,500.00	1,475.00	119.67
101-20-46756-000-000	BEACH HOUSE RENTAL	0.00	0.00	750.00	-750.00	0.00
PUBLIC CHARGES FOR SERVICES		11,349.26	150,740.95	149,475.00	1,265.95	100.85
101-14-47221-000-000	SRO CHARGES FROM SCHOOL	17,888.88	53,666.64	77,578.00	-23,911.36	69.18
INTERGOV'T. CHARGES FOR SERV.		17,888.88	53,666.64	77,578.00	-23,911.36	69.18
101-01-48100-000-000	INTEREST ON INVESTMENTS	18,492.42	187,854.94	140,000.00	47,854.94	134.18
101-11-48210-000-000	RENTS & LEASES	0.00	67,781.00	67,781.00	0.00	100.00
101-00-48303-000-000	SALE OF PUBLIC WORKS EQUIPMENT	0.00	7,289.00	0.00	7,289.00	0.00
101-11-48400-000-000	INSURANCE RECOVERIES	0.00	3,420.94	0.00	3,420.94	0.00
101-14-48400-000-000	INSURANCE RECOVERIES	0.00	5,000.00	0.00	5,000.00	0.00
101-20-48500-000-000	FIREWORKS DONATIONS	0.00	16,500.00	15,600.00	900.00	105.77
101-14-48500-000-000	DONATIONS POLICE	0.00	8,817.79	0.00	8,817.79	0.00
101-19-48500-860-000	LIBRARY DONATIONS	0.00	0.00	5,000.00	-5,000.00	0.00
101-11-48900-000-000	MISC INCOME	425.12	8,288.46	0.00	8,288.46	0.00
CAPITAL CONTRIBUTIONS		18,917.54	304,952.13	228,381.00	76,571.13	133.53
Total Revenues		51,645.67	2,368,629.22	2,522,504.37	-153,875.15	93.90

Fund: 101 - GENERAL FUND

Account Number		2024 September	2024 Actual 09/30/2024	2024 Budget	Budget Status	% of Budget
101-10-51110-110-000	VILLAGE BOARD WAGES	0.00	11,250.00	13,000.00	1,750.00	86.54
101-10-51110-150-000	VILLAGE BOARD EMPL BEN	0.00	860.65	1,073.15	212.50	80.20
101-10-51110-210-000	VILLAGE BOARD PROF SERVICES	0.00	739.00	0.00	-739.00	0.00
101-10-51110-210-600	AWARDS & MEMORIALS	0.00	0.00	200.00	200.00	0.00
101-10-51110-321-000	VILLAGE BOARD MEMBERSHIP DUES	0.00	1,509.12	1,500.00	-9.12	100.61
101-10-51110-330-000	VILLAGE BOARD TRAVEL & CONVENT	0.00	0.00	1,000.00	1,000.00	0.00
101-12-51210-110-000	MUNICIPAL COURT WAGES	1,549.76	13,517.72	20,352.80	6,835.08	66.42
101-12-51210-150-000	MUNICIPAL COURT BENEFITS	118.57	1,034.12	3,225.47	2,191.35	32.06
101-12-51210-210-500	MUNICIPAL COURT WITN FEE	0.00	0.00	1,000.00	1,000.00	0.00
101-12-51210-229-000	COURT SOFTWARE	0.00	0.00	1,300.00	1,300.00	0.00
101-12-51210-310-000	MUNICIPAL COURT OFFIC SUPPLIES	0.00	390.43	750.00	359.57	52.06
101-12-51210-321-000	MUNICIPAL COURT DUES	0.00	185.00	145.00	-40.00	127.59
101-12-51210-330-000	MUNICIPAL COURT TRAV/LOD	234.83	492.24	300.00	-192.24	164.08
101-12-51210-331-000	MUNICIPAL COURT TRAINING	0.00	800.00	1,000.00	200.00	80.00
101-12-51210-333-000	MUNICIPAL COURT COLLECT-LEXIS	0.00	1,040.00	1,560.00	520.00	66.67
101-12-51210-348-000	MUNICIPAL COURT MISC EXP	0.00	62.50	100.00	37.50	62.50
101-11-51300-210-000	LEGAL COUNSELING	25,382.74	44,309.79	40,000.00	-4,309.79	110.77
101-12-51300-210-000	COURT LEGAL COUNSEL PRO SERV	925.00	6,050.00	13,500.00	7,450.00	44.81
101-11-51410-110-000	ADMINISTRATOR WAGES	4,314.12	40,984.14	54,470.00	13,485.86	75.24
101-11-51410-150-000	ADMINISTRATOR BENEFITS	638.04	6,061.38	8,390.51	2,329.13	72.24
101-11-51410-310-000	WCMA / ICMA DUES	0.00	270.37	1,384.00	1,113.63	19.54
101-11-51410-330-000	PROFESSIONAL DEVELOPMENT ADMIN	0.00	1,582.93	5,000.00	3,417.07	31.66
101-11-51410-348-000	ADMIN CELL PHONE REIMBURSEMENT	41.18	329.20	1,620.00	1,290.80	20.32
101-11-51420-110-000	CLERK WAGES	2,050.20	19,476.90	26,880.40	7,403.50	72.46
101-11-51420-150-000	CLERK BENEFITS	730.68	6,941.46	9,435.00	2,493.54	73.57
101-11-51420-321-000	WMCA DUES	0.00	65.00	65.00	0.00	100.00
101-11-51420-348-000	IRS & STATE WH PENALTIES & INT	0.00	0.00	1,500.00	1,500.00	0.00
101-11-51422-210-000	ACCOUNTING SOFTWARE SUBSCRIPT	0.00	5,100.00	9,600.00	4,500.00	53.13
101-11-51422-226-000	GENERAL ADMIN FLEX FEES	50.00	1,008.76	1,000.00	-8.76	100.88
101-11-51422-227-000	GENERAL ADMIN EAP FEE	0.00	304.20	150.00	-154.20	202.80
101-11-51422-310-000	OFFICE SUPPLIES- GEN ADMIN	125.95	2,765.09	3,000.00	234.91	92.17
101-11-51422-311-000	POSTAGE - GEN ADMIN	0.00	1,780.00	4,500.00	2,720.00	39.56
101-11-51422-312-000	PRINTING & PUBLISHING- GEN ADM	0.00	2,063.35	6,000.00	3,936.65	34.39
101-11-51422-312-100	LEGAL NOTICES - GEN ADMIN	39.90	59.85	1,000.00	940.15	5.99
101-11-51422-312-600	ECODE 360 ANNUAL MAINTENANCE	0.00	4,669.00	4,300.00	-369.00	108.58
101-11-51422-340-000	PHOTO COPIER LEASES	316.22	4,851.81	5,100.00	248.19	95.13
101-11-51422-348-000	MISC EXPENSE - GEN ADMIN	233.17	2,639.64	3,500.00	860.36	75.42
101-11-51422-450-000	BANK SERVICE FEES	182.00	1,905.00	2,700.00	795.00	70.56
101-11-51423-110-000	CUSTOMER SERVICE REP WAGES	298.45	3,690.91	1,957.00	-1,733.91	188.60
101-11-51423-150-000	CUSTOMER SERVICE REP BENEFITS	22.83	282.32	310.14	27.82	91.03
101-11-51440-110-000	ELECTION WORKER WAGES	0.00	3,968.40	10,500.00	6,531.60	37.79
101-11-51440-150-000	ELECTION WORKER BENEFITS	0.00	126.74	0.00	-126.74	0.00
101-11-51440-312-000	ELECTION SUPPLIES	275.65	2,012.33	3,000.00	987.67	67.08
101-11-51450-210-000	IT SUPPORT	550.00	23,969.98	11,000.00	-12,969.98	217.91
101-11-51450-210-123	WEBSITE HOSTING	0.00	2,700.00	10,000.00	7,300.00	27.00
101-11-51450-310-000	IT HARDWARE	647.22	647.22	1,500.00	852.78	43.15
101-11-51510-210-000	ANNUAL AUDIT & REPORTING	0.00	9,107.25	26,880.00	17,772.75	33.88
101-11-51520-110-000	TREASURER WAGES	3,519.22	39,869.67	50,860.20	10,990.53	78.39
101-11-51520-150-000	TREASURER BENEFITS	514.82	8,930.29	14,886.52	5,956.23	59.99
101-11-51520-210-000	FINANCIAL ADVISING	0.00	3,676.10	3,000.00	-676.10	122.54
101-11-51520-321-000	MTAW DUES	0.00	0.00	150.00	150.00	0.00
101-11-51520-330-000	PROF DEVELOP TREASURER/CLERK	0.00	1,198.82	2,000.00	801.18	59.94

Fund: 101 - GENERAL FUND

Account Number		2024 September	2024 Actual 09/30/2024	2024 Budget	Budget Status	% of Budget
101-11-51530-210-000	PROPERTY ASSESSMENT	0.00	16,730.00	18,500.00	1,770.00	90.43
101-11-51530-311-000	PROPERTY ASSESSMENT MISC	0.00	558.01	0.00	-558.01	0.00
101-11-51600-220-000	MUNICIPAL CENTER PHONE	266.00	1,064.00	1,220.00	156.00	87.21
101-11-51600-220-101	TELEPHONE EQUIPMENT	0.00	0.00	1,000.00	1,000.00	0.00
101-11-51600-221-000	MUNICIPAL CENTER ELECTRICITY	0.00	15,050.99	25,500.00	10,449.01	59.02
101-11-51600-224-000	MUNICIPAL CENTER WATER/SEWER	694.56	986.50	5,300.00	4,313.50	18.61
101-11-51600-225-000	MUNICIPAL CENTER INTERNET	31.76	5,538.82	1,000.00	-4,538.82	553.88
101-11-51600-348-000	MUNICIPAL CENTER MISCELLANEOUS	2,301.86	3,269.36	1,500.00	-1,769.36	217.96
101-11-51600-414-000	MUNICIPAL CENTER MAINTENANCE	566.08	4,297.96	12,000.00	7,702.04	35.82
101-11-51800-000-000	PROPERTY INLAND INSURANCE	0.00	23,371.18	34,824.60	11,453.42	67.11
101-11-51810-000-000	GENERAL LIABILITY INSURANCE	0.00	8,346.63	11,961.56	3,614.93	69.78
101-11-51810-100-000	CRIME INSURANCE	0.00	1,184.00	1,500.00	316.00	78.93
101-11-51820-000-000	VEHICLE COLLISION/COMPREHENSIV	0.00	14,925.84	12,000.00	-2,925.84	124.38
101-11-51930-000-000	UNEMPLOYMENT INSURANCE	0.00	839.78	0.00	-839.78	0.00
101-11-51931-000-000	WORKERS COMPENSATION INSURANCE	1,784.00	1,784.00	0.00	-1,784.00	0.00
GENERAL GOVERNMENT		48,404.81	383,225.75	511,951.35	128,725.60	74.86
101-14-52100-110-000	POLICE DEPT WAGES	22,038.76	234,056.68	303,236.60	69,179.92	77.19
101-14-52100-110-500	POLICE DEPT - PART TIME WAGES	7,146.28	69,576.48	71,566.00	1,989.52	97.22
101-14-52100-150-000	POLICE DEPT BENEFITS	10,250.26	111,208.16	165,395.21	54,187.05	67.24
101-14-52100-150-500	POLICE PART TIME BENEFITS	546.66	5,823.51	8,574.08	2,750.57	67.92
101-14-52100-210-000	POLICE DEPT IT SERVICES	0.00	1,630.40	3,900.00	2,269.60	41.81
101-14-52100-220-000	POLICE DEPT PHONE	133.00	532.00	1,440.00	908.00	36.94
101-14-52100-225-000	POLICE DEPT AIRCARD/SQUAD PHON	258.11	2,113.70	2,163.00	49.30	97.72
101-14-52100-230-000	POLICE DEPT SUPPLIES & MAINT	165.50	915.50	1,430.00	514.50	64.02
101-14-52100-310-000	POLICE DEPT OFFICE SUPPLIES	46.99	214.24	525.00	310.76	40.81
101-14-52100-311-000	POLICE DEPT POSTAGE	0.00	0.00	200.00	200.00	0.00
101-14-52100-312-000	POLICE DEPT PRINT & PUBLIC	165.13	1,969.63	1,565.00	-404.63	125.85
101-14-52100-321-000	POLICE DEPT DUES	0.00	440.35	550.00	109.65	80.06
101-14-52100-330-000	POLICE DEPT TRAVEL/LODGING	0.00	0.00	500.00	500.00	0.00
101-14-52100-331-000	POLICE DEPT TRAINING	807.74	1,062.74	4,000.00	2,937.26	26.57
101-14-52100-342-000	POLICE DEPT UNIFORMS	320.90	1,298.24	1,280.00	-18.24	101.43
101-14-52100-342-300	POLICE DEPT BULLET PROOF VESTS	0.00	0.00	1,000.00	1,000.00	0.00
101-14-52100-343-000	POLICE DEPT GAS/DIESEL FUEL	1,191.50	9,283.77	18,400.00	9,116.23	50.46
101-14-52100-346-000	POLICE DEPT COMMUNITY PROGRAMS	200.00	304.99	350.00	45.01	87.14
101-14-52100-348-000	POLICE DEPT MISC EXPENSES	0.00	17,961.86	8,218.00	-9,743.86	218.57
101-14-52100-351-000	POLICE DEPT VEHICLE MAINTENANC	132.74	2,525.39	3,000.00	474.61	84.18
101-14-52100-514-000	POLICE DEPT PROP & LIAB INSUR	0.00	3,020.00	4,500.00	1,480.00	67.11
101-14-52100-810-000	POLICE DEPT EQUIP OUTLAY	0.00	0.00	10,000.00	10,000.00	0.00
101-15-52200-600-000	FIRE DEPT COMBINED FIRE	0.00	62,225.10	66,099.03	3,873.93	94.14
101-15-52210-600-000	OSHKOSH AMBULANCE CONTRACT	0.00	0.00	9,004.00	9,004.00	0.00
101-11-52400-000-000	BUILDING INSPECTION	2,005.46	41,472.20	0.00	-41,472.20	0.00
PUBLIC SAFETY		45,409.03	567,634.94	686,895.92	119,260.98	82.64
101-17-53100-110-000	PUBLIC WORKS ADMIN WAGES	3,181.04	25,628.20	27,847.00	2,218.80	92.03
101-17-53100-150-000	PUBLIC WORKS ADMIN BENEFITS	786.36	6,480.05	6,661.87	181.82	97.27
101-17-53100-310-000	PUBLIC WKS OFFICE SUPPLIES	776.94	2,054.42	3,000.00	945.58	68.48
101-17-53100-330-000	PUBLIC WKS TRAVEL/LODGING	593.58	1,121.58	10,000.00	8,878.42	11.22
101-17-53100-331-000	PUBLIC WKS TRAINING	263.70	1,976.62	3,095.00	1,118.38	63.86
101-17-53100-342-000	PUBLIC WKS UNIFORMS	536.47	5,994.44	5,000.00	-994.44	119.89
101-17-53100-348-000	PUBLIC WKS MISC EXPENSES	1,275.49	5,995.84	17,500.00	11,504.16	34.26

Fund: 101 - GENERAL FUND

Account Number		2024 September	2024 Actual 09/30/2024	2024 Budget	Budget Status	% of Budget
101-17-53100-355-000	PUBLIC WKS DRUG TESTS	0.00	607.00	500.00	-107.00	121.40
101-17-53100-362-000	PUBLIC WKS SAFETY EQUIPMENT	118.51	1,992.51	3,595.20	1,602.69	55.42
101-17-53150-110-000	BLDG & GROUNDS MAINT WAGES	2,397.99	33,235.33	29,101.10	-4,134.23	114.21
101-17-53150-150-000	BLDG & GROUNDS MAINT BENEFITS	377.14	6,553.84	6,669.32	115.48	98.27
101-17-53150-310-000	BLGS SUPPLIES & MAINTENANCE	623.54	6,032.42	9,600.00	3,567.58	62.84
101-17-53230-220-000	GARAGE INTERNET	47.70	508.81	120.00	-388.81	424.01
101-17-53230-221-000	GARAGE ELECTRIC	0.00	2,497.86	6,000.00	3,502.14	41.63
101-17-53230-224-000	GARAGE WATER & SEWER	369.15	950.61	0.00	-950.61	0.00
101-17-53240-110-000	PW FLEET & OTHER SERV WAGES	3,898.04	27,537.31	35,864.30	8,326.99	76.78
101-17-53240-150-000	PW FLEET & OTHER SERV BENEFITS	762.11	7,629.54	16,114.32	8,484.78	47.35
101-17-53240-230-200	PW MACHINERY	1,673.79	2,788.66	15,000.00	12,211.34	18.59
101-17-53240-343-000	PUBLIC WKS MACH GAS/DIES FUEL	766.84	5,657.22	12,625.00	6,967.78	44.81
101-17-53240-348-000	PUBLIC WKS MACH MISC EXPENSE	523.55	3,192.33	17,000.00	13,807.67	18.78
101-17-53240-350-000	PUBLIC WKS MACH EQUIP PARTS	0.00	742.44	0.00	-742.44	0.00
101-17-53300-110-000	PW STREET WAGES	357.73	16,250.84	33,972.00	17,721.16	47.84
101-17-53300-150-000	PW STREET BENEFITS	95.42	5,766.40	13,042.75	7,276.35	44.21
101-17-53300-359-000	STREET MAINT CRACK SEALING	5,476.25	5,476.25	6,000.00	523.75	91.27
101-17-53314-350-000	SNOW & ICE REMOVAL EQUIP/PARTS	0.00	7,023.29	8,500.00	1,476.71	82.63
101-17-53314-371-000	SNOW & ICE REMOVAL SALT & BRIN	0.00	7,718.99	10,000.00	2,281.01	77.19
101-17-53316-356-000	STREET SIGNS AND BANNERS	0.00	505.87	1,000.00	494.13	50.59
101-17-53420-221-000	STREET LIGHTING ELECTRIC	0.00	25,597.45	35,000.00	9,402.55	73.14
101-17-53645-230-000	TREES BRUSH & WEED CONTROL	0.00	4,816.69	10,000.00	5,183.31	48.17
101-17-53932-000-000	PW PROPERTY INLAND INSURANCE	0.00	1,348.93	2,010.00	661.07	67.11
101-17-53932-100-000	PW GENERAL LIABILITY INSURANCE	0.00	4,180.37	6,600.00	2,419.63	63.34
PUBLIC WORKS		24,901.34	227,862.11	351,417.86	123,555.75	64.84
101-22-54910-110-000	CEMETERY WAGES	2,633.15	21,555.47	20,607.50	-947.97	104.60
101-22-54910-150-000	CEMETERY BENEFITS	479.85	5,347.64	4,079.24	-1,268.40	131.09
101-22-54910-343-000	CEMETERY GAS/DIESEL FUEL	103.63	764.48	2,850.00	2,085.52	26.82
101-22-54910-348-000	CEMETERY MISC EXPENSES	1,660.00	6,292.50	2,500.00	-3,792.50	251.70
101-22-54910-350-000	CEMETERY EQUIP PARTS	0.00	976.74	1,500.00	523.26	65.12
101-22-54910-810-000	CEMETERY EQUIP OUTLAY	0.00	0.00	1,000.00	1,000.00	0.00
HEALTH AND HUMAN SERVICES		4,876.63	34,936.83	32,536.74	-2,400.09	107.38
101-19-55110-110-000	LIBRARY WAGES	8,355.89	76,931.11	99,181.00	22,249.89	77.57
101-19-55110-150-000	LIBRARY BENEFITS	1,235.86	11,550.49	17,158.70	5,608.21	67.32
101-19-55110-230-100	LIBRARY CONTRACT SERVICES	0.00	18,543.38	18,600.00	56.62	99.70
101-19-55110-310-000	LIBRARY OFFICE SUPPLIES	274.04	2,652.14	3,000.00	347.86	88.40
101-19-55110-311-000	LIBRARY POSTAGE	0.00	154.00	200.00	46.00	77.00
101-19-55110-312-000	LIBRARY PRINTING & PUBLISHING	365.51	2,661.37	3,400.00	738.63	78.28
101-19-55110-320-000	LIBRARY SUBSCRIPTIONS	45.00	2,219.81	2,400.00	180.19	92.49
101-19-55110-320-500	LIBRARY BOOKS	1,905.85	26,072.02	25,000.00	-1,072.02	104.29
101-19-55110-320-501	LIBRARY AUDIO BOOKS	0.00	5,984.23	7,528.00	1,543.77	79.49
101-19-55110-320-502	LIBRARY VIDEOS	80.12	1,046.00	4,600.00	3,554.00	22.74
101-19-55110-323-000	LIBRARY PROGRAMMING	208.75	4,392.84	5,000.00	607.16	87.86
101-19-55110-330-000	LIBRARY TRAVEL & CONVENTIONS	0.00	273.50	1,600.00	1,326.50	17.09
101-19-55110-341-000	LIBRARY CLEANING SUPPLIES	0.00	181.25	200.00	18.75	90.63
101-19-55110-348-000	LIBRARY MISC EXPENSES	16.48	910.50	1,000.00	89.50	91.05
101-19-55110-414-000	LIBRARY FACILITY MAINTENANCE	0.00	67,781.00	67,780.80	-0.20	100.00
101-19-55110-810-000	LIBRARY EQUIP OUTLAY	941.22	2,156.04	1,500.00	-656.04	143.74
101-11-55120-221-000	HIST SOCIETY ELECTRIC	0.00	2,983.26	5,000.00	2,016.74	59.67

Fund: 101 - GENERAL FUND

Account Number		2024 September	2024 Actual 09/30/2024	2024 Budget	Budget Status	% of Budget
101-11-55120-224-000	HIST SOCIETY WATER/SEWER	483.12	1,462.14	1,500.00	37.86	97.48
101-00-55140-000-000	DONATIONS COMMUNITY ROOM	14,905.00	14,905.00	14,500.00	-405.00	102.79
101-20-55200-110-000	PARKS WAGES	3,896.61	45,578.07	39,565.90	-6,012.17	115.20
101-20-55200-150-000	PARKS BENEFITS	779.00	11,360.99	10,005.39	-1,355.60	113.55
101-20-55200-220-000	PARKS PHONE	0.00	-118.00	260.00	378.00	-45.38
101-20-55200-221-000	PARKS ELECTRIC	523.47	2,720.98	6,500.00	3,779.02	41.86
101-20-55200-224-000	PARKS WATER & SEWER	1,307.28	3,741.66	3,000.00	-741.66	124.72
101-20-55200-230-100	PARKS CONTRACT SERVICES	2,850.50	9,991.08	10,000.00	8.92	99.91
101-20-55200-310-000	PARKS SUPPLIES & EXP	0.00	1,128.86	0.00	-1,128.86	0.00
101-20-55200-341-000	PARKS CLEANING SUPPLIES	293.24	2,033.57	3,500.00	1,466.43	58.10
101-20-55200-343-000	PARKS GAS/DIESEL FUEL	642.49	4,739.85	10,450.00	5,710.15	45.36
101-20-55200-348-000	PARKS MISC EXPENSES	385.12	4,962.22	9,000.80	4,038.58	55.13
101-20-55200-350-000	PARKS EQUIPMENT	188.68	5,457.66	8,000.00	2,542.34	68.22
101-20-55200-356-000	PARKS FACILITIES MAINTENANCE	5,241.78	10,828.09	24,000.00	13,171.91	45.12
101-20-55200-417-300	POOL CHEMICALS	0.00	0.00	1,400.00	1,400.00	0.00
101-20-55210-000-000	MSB/VENTEK FEES	421.00	5,102.95	5,300.00	197.05	96.28
101-20-55310-310-000	FIREWORKS SUPPLIES	0.00	17,500.00	16,600.00	-900.00	105.42
101-20-55420-110-000	BEACH/BEACH HOUSE WAGES	2,868.87	36,225.95	44,993.80	8,767.85	80.51
101-20-55420-150-000	BEACH/BEACH HOUSE BENEFITS	240.65	3,177.28	4,121.82	944.54	77.08
101-20-55420-221-000	BEACH/BEACH HOUSE ELECTRIC	651.71	2,443.28	2,500.00	56.72	97.73
101-20-55420-225-000	BEACH/BEACH HOUSE INTERNET	47.70	250.43	100.00	-150.43	250.43
101-20-55420-310-000	BEACH/BEACH HOUSE SUPPLIES/EXP	100.00	550.00	1,600.00	1,050.00	34.38
101-20-55420-313-000	POOL CONCESSION SUPPLIES	427.40	8,855.64	12,000.00	3,144.36	73.80
101-20-55420-348-000	BEACH/BEACH HOUSE MISC EXPS	131.00	1,341.47	2,500.00	1,158.53	53.66
101-20-55420-810-000	SWIMMING EQUIP OUTLAY	0.00	1,338.19	3,000.00	1,661.81	44.61
CULTURE, RECREATION AND EDU.		49,813.34	422,070.30	497,546.21	75,475.91	84.83
101-18-56700-110-000	ECONOMIC DEVELOP WAGES	838.86	7,969.17	12,528.10	4,558.93	63.61
101-18-56700-150-000	ECONOMIC DEVELOP BENEFITS	124.08	1,178.76	1,929.82	751.06	61.08
101-18-56700-210-000	ECONOMIC DEVELOP PRO SERVICES	3,310.97	6,810.97	10,000.00	3,189.03	68.11
CONSERVATION AND DEVELOPMENT		4,273.91	15,958.90	24,457.92	8,499.02	65.25
Total Expenses		177,679.06	1,651,688.83	2,104,806.00	453,117.17	78.47
Net Totals		-126,033.39	716,940.39	417,698.37	-299,242.02	171.64

POOLED CASH

Accounting Checks

Posted From: 9/01/2024 From Account:
Thru: 9/30/2024 Thru Account:

Check Nbr	Check Date	Payee	Amount
ACH	9/03/2024	DELTA DENTAL - ACH	48.56
	Manual Check	SEPTEMBER DENTAL & VISION INSUR	
ACH	9/03/2024	US INTERNET	383.33
	Manual Check	AUGUST INTERNET	
ACH	9/03/2024	ALLIANT ENERGY/WPL	1,175.18
	Manual Check	AUGUST ELECTRIC BILL	
ACH	9/04/2024	GORDON FLESCH CO INC	34.71
	Manual Check	USAGE FEES	
ACH	9/04/2024	AMAZON BUSINESS - VILLAGE	4,831.20
	Manual Check	LIGHT BULB	
ACH	9/04/2024	CINTAS CORPORATION	1,366.09
	Manual Check	AUGUST BILLING	
ACH	9/05/2024	GORDON FLESCH CO INC	143.79
	Manual Check	USAGE FEES	
ACH	9/06/2024	HOLIDAY WHOLESALE	149.70
	Manual Check	POOL CONCESSIONS	
ACH	9/06/2024	EMPLOYEE BENEFITS CORPORATION	92.00
	Manual Check	SEPTEMBER 6 PAYROLL	
ACH	9/06/2024	EXPERT PAY CHILD SUPPORT	825.69
	Manual Check	SEPTEMBER 6 PAYROLL	
ACH	9/06/2024	UNITED STATES TREASURY-FED W/H	9,061.12
	Manual Check	SEPTEMBER 6 PAYROLL	
ACH	9/06/2024	WISCONSIN DEPARTMENT OF REVENUE-WI W/H	1,506.38
	Manual Check	SEPTEMBER 6 STATE W/H	
ACH	9/09/2024	GREAT-WEST RETIREMENT SERVICES (EMPOWER)	350.00
	Manual Check	SEPTEMBER 6 PAYROLL	
ACH	9/10/2024	KWIK TRIP STORES	1,191.50
	Manual Check	FUEL CHARGES FOR AUGUST	
ACH	9/10/2024	KWIK TRIP STORES	2,072.55
	Manual Check	FUEL CHARGES FOR AUGUST	
ACH	9/10/2024	AMAZON CAPITAL SERV - LIBRARY	224.05
	Manual Check	BOOKS	
ACH	9/13/2024	HOLIDAY WHOLESALE	277.70
	Manual Check	POOL CONCESSIONS	
ACH	9/16/2024	EMPLOYEE TRUST FUNDS - WISCONSIN RETIREMENT	9,837.50
	Manual Check	AUGUST REMIT	
ACH	9/16/2024	GROUP INSURANCE ETF-HEALTH INS	11,616.12
	Manual Check	OCTOBER INSURANCE	

POOLED CASH

Accounting Checks

Posted From: 9/01/2024 From Account:
Thru: 9/30/2024 Thru Account:

Check Nbr	Check Date	Payee	Amount
ACH	9/17/2024	CLIFTON LARSON ALLEN LLP	14,374.84
	Manual Check	FINAL BILLING FOR AUDIT SERVICES	
ACH	9/17/2024	AMAZON CAPITAL SERV - LIBRARY	719.95
	Manual Check	BOOKS	
ACH	9/18/2024	GFL ENVIRONMENTAL	66.23
	Manual Check	WASTE PICK UP WASTE WATER TREATMENT	
ACH	9/18/2024	GFL ENVIRONMENTAL	224.80
	Manual Check	WASTE PICK UP WINNECONNE PARK	
ACH	9/18/2024	GFL ENVIRONMENTAL	325.70
	Manual Check	WASTE PICK UP MARBLE PARK	
ACH	9/19/2024	NEOPOST	700.00
	Manual Check	POSTAGE FOR WATER BILLS	
ACH	9/19/2024	GREAT-WEST RETIREMENT SERVICES (EMPOWER)	350.00
	Manual Check	SEPTEMBER 20 PAYROLL	
ACH	9/16/2024	PAX8 ON BEHALF OF WINHAVEN LLC	550.00
	Manual Check	CLOUD SERVICES	
ACH	9/20/2024	EMPLOYEE BENEFITS CORPORATION	92.00
	Manual Check	SEPTEMBER 20 PAYROLL	
ACH	9/20/2024	UNITED STATES TREASURY-FED W/H	8,275.07
	Manual Check	SEPTEMBER 20 PAYROLL	
ACH	9/20/2024	WISCONSIN DEPARTMENT OF REVENUE-WI W/H	1,422.67
	Manual Check	SEPTEMBER 20 STATE W/H	
ACH	9/20/2024	EXPERT PAY CHILD SUPPORT	825.69
	Manual Check	SEPTEMBER 20 PAYROLL	
ACH	9/23/2024	VISA - PREMIER COMMUNITY BANK	3,935.37
	Manual Check	RESTRICTED PROGRAMMING SUPPLIES	
ACH	9/24/2024	ADVANCED DISPOSAL SERVICES INC.	17,136.00
	Manual Check	AUGUST SERVICES	
ACH	9/26/2024	AMAZON CAPITAL SERV - LIBRARY	208.44
	Manual Check	RESTRICTED PROGRAMMING EXP	
ACH	9/27/2024	GFC LEASING	302.85
	Manual Check	COPIER LEASE	
ACH	9/30/2024	NEOPOST	500.00
	Manual Check	POSTAGE FOR WATER BILLS	
ACH	9/30/2024	EMPLOYEE BENEFITS CORPORATION	50.00
	Manual Check	SEPTEMBER ADMIN FEES	
ACH	9/30/2024	US INTERNET	383.33
	Manual Check	SEPTEMBER INTERNET	

POOLED CASH

Accounting Checks

Posted From: 9/01/2024 From Account:
Thru: 9/30/2024 Thru Account:

Check Nbr	Check Date	Payee	Amount
ACH	9/30/2024	PREMIER COMMUNITY BANK	200.00
	Manual Check	SERV FEES	
ACH	9/03/2024	DELTA DENTAL - ACH	-48.56
	Manual Check	REVERSE CHECK FROM 9/3	
50379	9/05/2024	AIT BUSINESS TECHNOLOGIES LLC	399.00
		FOXTEL USER FEES	
50380	9/05/2024	AT&T MOBILITY	258.11
		POLICE PHONE	
50381	9/05/2024	AUGUST WINTER & SONS, INC	65,075.00
		REVERSE OSMOSIS MEMBRANE TREATMENT #13	
50382	9/05/2024	CITY OF OSHKOSH	11.62
		ABSENTEE VOTING PUBLICATION	
50383	9/05/2024	CLAIRE SCHAFFER	131.00
		LIFEGUARD TRAINING REIMBURSEMENT	
50384	9/05/2024	CORE & MAIN LP	599.72
		LEAD METER SEAL	
50385	9/05/2024	DEBRA MONTESINOS	25.00
		INTERPRETER FEES FOR ANGY BALLEEN	
50386	9/05/2024	HIGHLANDS AT RIVER CROSSING LLC	14,905.00
		2024 Senior Activity Center Cost Sharing	
50387	9/05/2024	MCPMAHON ASSOCIATES INC	7,245.00
		WATER SYSTEM RO ADDITION	
50388	9/05/2024	RAY'S SANITATION	1,280.00
		PORTABLE RESTROOM RENTAL	
50389	9/05/2024	REGISTRATION FEE TRUST	165.50
		TITLE AND LICENSE PLATE	
50390	9/05/2024	REINDERS INC	188.68
		PARKS EQUIP	
50391	9/05/2024	SPEEDY CLEAN DRAIN & SEWER	4,415.00
		VACUUM CURB BOX ON 1ST ST	
50392	9/05/2024	STATE OF WISCONSIN COURT FINES & Surcharges	697.20
		COURT COSTS/SURCHARGES	
50393	9/05/2024	TED ECKSTEIN	1,400.00
		GRAVE COVER - MIKE DUBRING	
50394	9/05/2024	TREE TOP PRODUCTS	1,267.70
		CUSTOM BENCHES	
50395	9/05/2024	WINNEBAGO COUNTY TREASURER	380.00
		SURCHARGES	

POOLED CASH

Accounting Checks

Posted From: 9/01/2024 From Account:
Thru: 9/30/2024 Thru Account:

Check Nbr	Check Date	Payee	Amount
50396	9/13/2024	AFR INSPECTION SERVICE INC AUGUST FEES	2,005.46
50397	9/13/2024	BADGER LABORATORIES & ENGINEERING INC TESTING EXPENSES	1,303.00
50398	9/13/2024	BAKER & TAYLOR BOOKS	895.12
50399	9/13/2024	CENTER POINT LARGE PRINT BOOKS	264.90
50400	9/13/2024	GFC LEASING COPIER LEASE	265.47
50401	9/13/2024	GILA LLC CONVENIENCE FEES FOR AUGUST	421.00
50402	9/13/2024	HAWKINS WATER TREATMENT GROUP AZONE	2,720.37
50403	9/13/2024	JBC RENTALS LLC DUPLICATE PAYMENT ACCT # 146-0810-06	317.14
50404	9/13/2024	MCPMAHON ASSOCIATES INC PROFESSIONAL SERVICES	38,541.57
50405	9/13/2024	MIDWEST TAPE LLC DIGITAL MEDIA	443.60
50406	9/13/2024	MUZA LAW LLC LEGAL SERV	900.00
50407	9/13/2024	SHERWIN INDUSTRIES, INC ROADSAVER 221	5,476.25
50408	9/13/2024	WI DEPT OF JUSTICE FIRST LINE SUPERVISOR TRAINING	250.00
50409	9/13/2024	WINNECONNE NEWS WINNECONNE NEWS RENEWAL	175.73
50410	9/13/2024	WINNEFOX LIBRARY SYSTEM STAFF LAPTOP	941.22
50411	9/20/2024	AIT BUSINESS TECHNOLOGIES LLC VPN SETUP	1,050.00
50412	9/20/2024	ALL-SPORT TROPHY & ENGRAVING NAMEPLATES	114.00
50413	9/20/2024	BAER INSURANCE SERVICES INC WC AUDIT	1,784.00
50414	9/20/2024	BEAR GRAPHICS VOTER NUMBER PADS	148.76

POOLED CASH

Accounting Checks

Posted From: 9/01/2024 From Account:
Thru: 9/30/2024 Thru Account:

Check Nbr	Check Date	Payee	Amount
50415	9/20/2024	CHARTER COMMUNICATIONS SEPTEMBER	96.34
50416	9/20/2024	COUNTRY VISIONS CO-OP OIL FOR SWEEPER	658.35
50417	9/20/2024	DEMCO LAMINATE, TAPE, AND BOOKMARKS	117.91
50418	9/20/2024	GREATER OSHKOSH ECONOMIC DEVELOPMENT CORP GOEDC INVESTMENT 2024	2,995.00
50419	9/20/2024	JEFF WALDVOGEL TRUCKING INC. GEORGE DODD FIELD	6,020.00
50420	9/20/2024	KLEIN FORD GAS TANK FOR F350	1,658.01
50421	9/20/2024	MACQUEEN EQUIPMENT REPAIRS	1,994.33
50422	9/20/2024	MADISON NATIONAL LIFE INS. CO. OCTOBER	170.58
50423	9/20/2024	MENARDS - OSHKOSH TRIM SPOOL	2,918.92
50424	9/20/2024	MIDWEST CONTRACT OPERATIONS INC SERVICES FOR OCTOBER	20,242.20
50425	9/20/2024	NIELSON COMMUNICATIONS INC RADIOS	2,365.00
50426	9/20/2024	RAY'S SANITATION PORTABLE RESTROOMS	1,280.00
50427	9/20/2024	RENNING LEWIS & LACY LEGAL COUNSELING	10,110.90
50428	9/20/2024	SHERWIN WILLIAMS COMPANY ACCOUNT # 4215-2744-1	141.10
50429	9/20/2024	SPEEDY CLEAN DRAIN & SEWER TELEWISE SANITARY ON N 6TH AVE	13,846.01
50430	9/20/2024	THE UNIFORM SHOPPE UNIFORMS	320.90
50431	9/20/2024	VERIZON WIRELESS AUGUST CELL PHONE BILLING	161.55
50432	9/20/2024	VON BRIESEN & ROPER S.C. SERVICES THROUGH 6/30/24	897.00
50433	9/20/2024	WINNEBAGO COUNTY TREASURER HIT AND RUN, 6TH/GRANT	1,122.83

POOLED CASH

Accounting Checks

Posted From: 9/01/2024 From Account:
Thru: 9/30/2024 Thru Account:

Check Nbr	Check Date	Payee	Amount
50434	9/20/2024	WINNECONNE PROF POLICE ASSOCIATION 3RD QTR 2024 DUES	390.26
50435	9/27/2024	ANTHEM LIFE STD - OCTOBER	211.50
50436	9/27/2024	AUGUST WINTER & SONS, INC REVERSE OSMOSIS MEMBRANE TREATMENT #14	43,801.01
50437	9/27/2024	CORE & MAIN LP VAC BREAKER	492.50
50438	9/27/2024	FERGUSON WATERWORKS WATER MAIN BREAK	321.78
50439	9/27/2024	GORDON FLESCH CO INC USAGE FEES	9.21
50440	9/27/2024	JULIE DOBBERSTEIN TRAVEL EXPENSE FOR CLERK CONFERENCE	234.83
50441	9/27/2024	LAPPEN SECURITY PRODUCTS, INC LOCKS FOR GATES	560.16
50442	9/27/2024	MCPMAHON ASSOCIATES INC WATER SYSTEM RO ADDITION	3,862.67
50443	9/27/2024	MR VINYL GRAPHINS & APPAREL SIGNS FOR LWP CONSTRUCTION	90.00
50444	9/27/2024	OTIS ELEVATOR COMPANY ELEVATOR MAINTENANCE	95.00
50445	9/27/2024	VILLAGE OF WINNECONNE 3RD QTR WATER BILLS	9,876.34
Grand Total			379,304.86

POOLED CASH

Accounting Checks

Posted From: 9/01/2024 From Account:
Thru: 9/30/2024 Thru Account:

Amount

Total Expenditure from Fund # 101 - GENERAL FUND	137,721.24
Total Expenditure from Fund # 212 - ARPA SPECIAL REVENUE	8,452.94
Total Expenditure from Fund # 219 - LIBRARY STATE INV POOL DONATIO	2,161.65
Total Expenditure from Fund # 230 - SOLID WASTE/ RECYCLING	17,136.00
Total Expenditure from Fund # 500 - GENERAL CAPITAL FUND	37,708.63
Total Expenditure from Fund # 601 - WATER UTILITY FUND	137,833.63
Total Expenditure from Fund # 602 - SEWER UTILITY	35,638.09
Total Expenditure from Fund # 603 - STORMWATER UTILITY	2,652.68
Total Expenditure from all Funds	379,304.86

MINUTES
VILLAGE BOARD – VILLAGE OF WINNECONNE
Tuesday, September 17, 2024, at 5:30 pm
Village Board Room, 30 South First Street

Call to Order

Meeting called to order by President Boucher at 5:30 pm.

Roll Call: Foster, Kubasta, Olson, Bouras, Stelzner, Janikowski, Boucher, all present.

Also present Administrator Fuller and Attorney Chad Wade

Pledge of Allegiance said in unison

Regular Business

Motion by Kubasta second by Foster to approve consent agenda and payment of bills:

- August 31, 2024, Treasurer’s Report/Balance Sheet
- August 31, 2024, Budget Comparisons
- August 2024 Check Register

Motion passes by roll call vote: Stelzner-aye Janikowski-aye, Foster-aye, Kubasta-aye, Olson-aye, Bouras-aye, Boucher-aye 7-0-0

Motion by Kubasta second by Janikowski to approve August 20, 2024, Village Board Minutes

Motion passes by unanimous voice vote 7-0-0

Open Public Hearing

Hear public comment on Resolution 0816 – N. 8th Avenue Resurfacing:

1st Call:

- Resident at 217 N 8th Ave asking if reassessed on project. Brad Werner of McMahon explained first project is to update laterals. Waivers signed. Cost split between Village and residents on each side. Statements go out and residents have until Nov. 1st to pay in full or assessed to tax bill to receive 6.5% financing for 7 years. No prepay penalty. Second part is street reconstruction/resurfacing. When project complete, statements will be sent out with same financing.
- Resident at 225 N. 8th Ave. asked when bills are coming out, and if sump pump hoses are getting buried and hooked up? Jossart will come back in fall. One of their staff is doing it on the side. Cost covered by home owner.
- Resident at 226 N. 8th Ave. explained the sump pump process and the lack of explanation given to residents. Also questioned 4” stub pipes in roadways.

2nd Call:

None

3rd Call:

None

Close Public Hearing

Motion by Bouras second by Foster to close public hearing

Motion passes by roll call vote: Stelzner-aye, Janikowski-aye, Foster-aye, Kubasta-

aye, Olson-aye, Bouras-aye, Boucher-aye 7-0-0

Communications

John Kneer, Rettler, presented the phases of development for Marble Park. Compared current park uses and future needs – two public meetings held and well attended, also on-line survey of 800 participants. There were 6-8 conceptual plans the Parks Committee brought to Village Board to approve moving forward. Changes include reduced pool/beach area, add playground and splashpad, keep current bathhouse and phase to redevelop later. Quad shaped with baseball diamonds, new concession/restroom area as central hub, parking lot moves toward 6th St. Would have main park pedestrian paths to reduce car conflict. Multipurpose field sport area, ADA parking on west side including ADA walkway network. Keep bridge, parking lot near dog park. Preserve south building restrooms. Add small dog area. Full park redevelopment and projected budget shared. \$9 million with \$1 million contingent fund for \$10 million remodel. Need to identify funding sources prior to phase development. Four to 4.5% on bids with 5 year multipliers. John Broderick, WACF, seeking designated donations. A grant was identified in paper last week. Village needs to apply for private/public financing. Funds to be held at WACF.

Public Participation

Resident at 110 N 2nd St, inquired about sidewalk panel timeline, references to PWD safety outing and where money is being spent along with cost of uniforms.

Resident at 1120 Mistletoe Lane thanked PWD for placing a bench and older kid swings in Marble Park, appreciates the brick wall near bridge and walking path, asks for Grant St. sign at intersection with Hwy 116 and Grant St.

Resident 125 Washington St. commented on park updates.

Resident at 634 Riverview St. shared treatment received by Village staff regarding a CSM application, confusion of the process and non-responsiveness of return calls and emails.

Administrator's Report

Meeting with Switchgear related to progress and objectives relate to community.

No updates on viable offers for land sales at this time.

Revised contract with Verizon regarding lease agreement for tower space.

GOEDC to provide list of Village businesses and offerings, and strategies moving forward.

Wolf Run Estates moving forward after a rainy summer.

Openings for part-time Customer Service Rep and full-time Public Works staff.

ETF insurance premiums expected to rise 11%.

Fiscal controls in place working with the budget to finish in a positive position. Historically expenses/revenues not being allocated accurately. For example:

- Expenses/revenues were not being allocated accurately, or even at all. For example, in 2021 money spent towards a cake and retirement party were allocated to IRS withholding penalties. We have found that invoices were not being spread across the different departments. We have found that deposits were being made but not recorded.
- We received payment on a bond for \$3,717,151.92 on 7/8/21. These funds were never recorded and there was a material weakness noted in the 2021 audit stating that adjusting entries needed to be provided to record the long-term debt. These entries were not posted until after the audit came back on 9/22/22.

- In 2022 we were fined \$3,004.20 for not filing tax withholding. In 2023 we were fined another \$21,225.30.

Capital Improvement Plans are being worked out and projects to be bonded or commercially loaned.

Variance Committee meeting to be held for three needed property variances.

Fleet management opportunities for Public Safety and Public works being cultivated.

Several key meetings with state and local leaders regarding concerns and achievements within the Village.

RO Project open house and ribbon cutting happening later in October.

Committee Reports

Beautification - met, Brat Barn was success, Oct. 12 Hwy. Cleanup, Booth at Fall Fest

Cemetery - met, possibly raising fees, new garage door installed, updating dates on fee form

Fire District - met, Budget meeting no increase – will move money around, air boats moving forward, five and ten year plans to replace vehicles

Historic Preservation - didn't meet, Fall Fest Booth, seeking donations for marker for Pioneer Cemetery costing \$5000 including installation

Library - Broke all previous records for reading programs, Sept. 30 inventory, Trunk & Treat, new reading program for Adults/Seniors

Parks – met, see report

Personnel & Finance – reviewed financials, personnel handbook and fleet management plan

Plan Commission – didn't meet

Public Safety – reposted burning ordinance to educate against illegal burning of leaves and garden waste, budget process going good, SRO busy at school

Public Works – CMAR Report – 'A' grade achieved, not enforcing weed control, grinding 8th Ave asphalt to use at Lake Winneconne Park, flushing water lines, checking water meters, Oct. 24 RO Open House will be featured in APWA Magazine, deduct meter program changes.

Old Business

None

New Business

Motion by Foster second by Kubasta to approve the proposed Marble Park Master Plan as presented by John Kneer, President of Rettler.

Motion passes by unanimous voice vote 7-0-0

Motion by Foster second by Bouras to approve Resolution 0816 - N. 8th Avenue Resurfacing: Resolution by the Village Board of the Village of Winneconne adopting the final resolution declaring intent to exercise special assessment powers under section 66.0703, Wisconsin statutes, for street resurfacing on North 8th Avenue, Winneconne Wisconsin

Motion passes by roll call vote: Stelzner-aye, Janikowski-aye, Foster-aye, Kubasta-aye, Olson-aye, Bouras-aye, Boucher-aye 7-0-0

Motion by Kubasta second by Bouras to postpone approval of Personnel Policy Handbook until next month

Motion passes by unanimous voice vote 7-0-0

Motion by Bouras second by Janikowski to approve striking line number 2, under section C from Ordinance 518-46 Deduct Meters requiring plumbing permit and installation by duly licensed plumber

Motion passes by roll call vote: Stelzner-aye, Janikowski-aye, Foster-aye, Kubasta-aye, Olson-aye, Bouras-aye, Boucher-aye 7-0-0

Motion by Bouras second by Foster to approve street addressing beginning at 300 with 13th Avenue continuing off Main St. and running to Lasley Point Rd. with approval of Town Board on name change from Wolf Run Road

Approve at Village then take to Town for approval

Motion passes by unanimous voice vote 7-0-0

Motion by Bouras second by Kubasta to approve E911 Joint Powers Agreement with Winnebago County Sherriff Department for the purpose of providing emergency services to Village of Winneconne residents and visitors, December 1, 2024 through November 30, 2025.

Motion passes by unanimous voice vote 6-0-1, Janikowski abstains

Motion by Foster second by Kubasta to move into closed session pursuant to Wisconsin State Statute 19.85(1)(c) to consider employment, promotion, compensation or performance evaluation date of public employees.

Motion passes by roll call vote: Stelzner-aye, Janikowski-aye, Foster-aye, Kubasta-aye, Olson-aye, Bouras-aye, Boucher-aye 7-0-0

Discussion of Village Administrator employment agreement

Motion by Foster second by Janikowski to move into open session.

Motion passes by unanimous voice vote 7-0-0

Motion to TABLE approval of Administrator Fuller's employment agreement.

Adjourn

Motion by Janikowski second by Stelzner to adjourn meeting at 7:24 pm

Motion passes by unanimous voice vote 7-0-0

Clerk Wasinger



Police Fleet Management Proposal

- The police department is requesting 2 new vehicles for the Chief and the SRO.
- Rational for replacement is that Chief's squad is 2017 model with 173,000 miles and has already required transmission and water pump replacement. SRO squad is 2015 model with 146,000 miles and has various body damage and the interior is falling apart.
- Chief expects to drive 10,400 miles per year.
- SRO expects to drive 3,900 miles per year.
- Ben has provided options and quotes for both new and used vehicles.
- Option A includes new vehicles at a cost of \$110,000.
- Option B includes used vehicles at a cost of \$75,000.
- Option B will save money in the short-term, but these vehicles will have very little resale value when it is time for replacement.
- Leasing is not an option since we do not have a fleet of at least 20 vehicles.

Option A: New Ford Explorer

2025 Ford Police Explorer

Chief

- Ewald total
- Window Barrier
- Front partition
- Speaker bracket
- 3 outlet power supply
- Circuit breaker
- Franks outfitting
- Whelen siren control
- Whelen inner edge red/blue
- Siren speaker
- Cargo barrier
- Graphics
- Whelen outer edge
- Whelen lon side window lights
- * Squad radio for SRO. Optional. Not needed but should have
- Whelen T series lights.
- Whelen vertex lights-red and blues for head lights

Note: Grand new. Full warranty. 5 year/100,000 mile power train warranty
Sell in two or three years for high sale thus lower purchase price for next squad

The cost will vary as the equipment/lighting cost will vary slightly depending on the vendor that offers state bid pricing.

Option B: Purchase Used



2020 Ford Police Explorer/w mann warranty. 21,249 mile

Window Barrier	\$26,795
Front partition	\$600
Speaker bracket	\$779
3 outlet power supply	\$27
Circuit breaker	\$28.50
Franks outfitting	\$23
Whelen siren control	\$2,500
Whelen inner edge red/blue	\$785
Siren speaker	\$985
Cargo barrier	\$300
Graphics	\$600
Red and blue light moduals	\$500
Light mounts	\$700
Rear outeredge rear light	\$714
Radio* Not needed but should have	\$760
Total	\$3,500
	\$39,596

2018 Ford Police Explorer 18,349 miles

Fully outfitted	\$28,595
Graphics	\$300
Rear cargo barrier	\$600
Outfit labor	\$2,500
Window barriers	\$600
Total	\$32,595

Asia Motors

Public Works Fleet Management Proposal

Public Works is requesting 2 new work trucks.

Rational for replacement is that these vehicles are 11 and 14 years old and are becoming unsafe to drive.

There will be \$1,200 in additional cost for the decked bed.

No additional cost needed for lighting, as they can reuse existing equipment.

2025 Chevrolet Silverado



Ewald Automotive Group

Scott Kussow | 262-567-5555 | skfleet@ewaldauto.com

Vehicle: [Fleet] 2025 Chevrolet Silverado 1500 (CK10743) 4WD Crew Cab 157" Work Truck (Complete)


Price Summary

PRICE SUMMARY

Base Price	\$46,300.00	MSRP
Total Options	(\$1,350.00)	
Vehicle Subtotal	\$44,950.00	
Destination Charge	\$1,995.00	
Grand Total	\$46,945.00	



ARPA Funds Proposal

- We currently have \$18,826.54 in remaining ARPA funds that need to be spent by 12/31/24.
 - I am proposing that we split those funds between the Police and Public Works departments.
 - Police are requesting funding for a new gun range.
 - Public Works is requesting a UTV to be used in the parks and cemetery.
- 

Police Quote for Range

Firearms range-Winneconne Police Dept

Shipping containers X3 Shipping included	\$6,000
Wood and metal supplies staircase	\$1,000
Building supplies-doors and windows	\$1,000
Miscl equipment	\$1,000
	\$9,000

This would allow for the beginning of a proper firearms training range.

Keeping up firearms training is vital for officer safety and public safety.
Officers can train anytime. No need to schedule officers and set up training at other facilities.



Public Works



Public Works UTV



Description

2015 XUV 825i 3Cyl. Liquid cooled gas engine, PS, Power lift box, 4WD, ROPS Deluxe cab w/ heat, Poly doors w/ roll down windows, beacon, Extra work lights. One owner.

2015 John Deere XUV 825i Power Steering

Price: 11,995.00

**RECORDING REQUESTED BY
AND WHEN RECORDED RETURN TO:**

Mark A. Biesiada
Ginsberg Jacobs LLC
300 South Wacker Drive, Suite 2750
Chicago, Illinois 60606
T 312.660.9619]

Site Name/ID: Winneconne / 5000093023

(Space above this line for recorder's use.)

FIRST AMENDMENT TO MEMORANDUM OF AGREEMENT

THIS FIRST AMENDMENT TO MEMORANDUM OF AGREEMENT ("Amended Memorandum") is made and shall be effective, as of the last date of the signatures below, by and between Village of Winneconne, Wisconsin, with a principal address of 30 South First Street, Winneconne, Wisconsin 54986 ("Lessor"), and Alltel Corporation d/b/a Verizon Wireless, with a principal address of One Verizon Way, Mail Stop 4AW100, Basking Ridge, New Jersey 07920 ("Lessee").

1. Lessor and Lessee (or their predecessors-in-interest) entered into that certain Water Tower Lease Agreement dated November 21, 2013, as amended, (the "Agreement"), pursuant to which Lessee has installed and is operating and maintaining telecommunications equipment and other improvements on a portion of that certain property located at 90 Tower Road, Winneconne, Winnebago County, Wisconsin (the "Property"). The Agreement is documented by that certain Memorandum of Agreement dated November 21, 2013, recorded on November 27, 2013, in the Register's Office of Winnebago County, Wisconsin as Document No. 1653491 (the "Memorandum").
2. Pursuant to the Agreement, Lessor leases to Lessee a portion of the Property, including rooftop space, space for placement of utilities and certain rights of access, as provided in the Agreement. The Property is legally described in Exhibit "A" attached hereto and made a part hereof.
3. Lessor and Lessee have entered into that certain Second Amendment to Water Tower Lease Agreement ("Amendment") concurrently with this Amended Memorandum.
4. In connection with the Amendment the Memorandum shall be amended and supplemented to incorporate the following:
 - a. The legal description set forth in Exhibit "A."
 - b. The current term of the Agreement is set to expire on November 30, 2028. Following the expiration of the current term, the Agreement shall automatically be extended for 1 additional, 5 year extension term unless Lessee notifies Lessor, in writing, of Lessee's intention not to renew at least 30 days prior to the end of

the then-current term. If at the end of the final term this Agreement has not been terminated by either Party giving the other written notice of its intention to terminate it at least 3 months prior to the end of such term, this Agreement shall continue in force upon the same covenants, terms and conditions for a further term of 5 years and for five-year terms thereafter until terminated by either Party by giving to the other written notice of its intention to so terminate at least 3 months prior to the end of such term.

6. This Amended Memorandum is not intended to amend or modify, and shall not be deemed or construed as amending or modifying, any of the terms, conditions or provisions of the Agreement, all of which are hereby ratified and affirmed. In the event of a conflict between the provisions of this Amended Memorandum and the provisions of the Agreement, the provisions of the Agreement shall control. Except as necessary to conform hereto, all of the terms and conditions of the Memorandum shall remain in full force and effect, and shall extend to and be binding upon the respective executors, administrators, heirs, successors and assigns of Lessor and Lessee.

IN WITNESS WHEREOF, this Amended Memorandum is effective and entered into as of the date last written below:

Lessor:

Village of Winneconne, Wisconsin

By: _____

Name: _____

Title: _____

Date: _____

Lessee:

Alltel Corporation d/b/a Verizon Wireless

By: _____

Name: _____

Title: _____

Date: _____

LAND SPACE

A part of Lot 1 of Certified Survey Map No. 1926, recorded in Volume 1 of Certified Survey Maps on Page 1926 as Document No. 711188 being a part of the Northeast Quarter (NE1/4) of the Southeast Quarter (SE1/4) of Section Twenty (20), Township Nineteen (19) North, Range Fifteen (15) East, Village of Winneconne, Winnebago County, Wisconsin containing 1,457 square feet (0.033 acres) of land and being described by:

Commencing at the Northwest Corner of said Lot 1; thence N88°-24'-56"E 112.53 feet along the North line of said Lot 1; thence S01°-35'-04"E 15.00 feet to the point of beginning; thence S01°-35'-04"E 47.00 feet; thence S88°-24'-56"W 31.00 feet; thence N01°-35'-04"W 47.00 feet; thence N88°-24'-56"E 31.00 feet to the point of beginning; being subject to any and all easements and restrictions of record.

RIGHT OF WAY

An Access Easement being a part of Lot 1 of Certified Survey Map No. 1926, recorded in Volume 1 of Certified Survey Maps on Page 1926 as Document No. 711188 being a part of the Northeast Quarter (NE1/4) of the Southeast Quarter (SE1/4) of Section Twenty (20), Township Nineteen (19) North, Range Fifteen (15) East, Village of Winneconne, Winnebago County, Wisconsin containing 2,404 square feet (0.055 acres) of land and being described by:

Commencing at the Northwest Corner of said Lot 1; thence N88°-24'-56"E 112.53 feet along the North line of said Lot 1 to the point of beginning; thence S01°-35'-04"E 62.00 feet; thence N88°-24'-56"E 12.00 feet; thence N01°-35'-04"W 27.97 feet; thence N42°-54'-46"E 19.22 feet; thence N88°-24'-56"E 46.46 feet; thence S74°-32'-10"E 15.96 feet to the East line of said Lot 1 (same as the West right-of-way line of Tower Road); thence N00°-57'-11"W 25.00 feet along said East line to the Northeast Corner of said Lot 1; thence S88°-24'-56"W 87.47 feet along said North line to the point of beginning.

FURTHER RIGHTS OF WAY

LESSEE'S 8 FOOT WIDE UTILITY EASEMENT "A"

An 8 foot wide Utility Easement being a part of Lot 1 of Certified Survey Map No. 1926, recorded in Volume 1 of Certified Survey Maps on Page 1926 as Document No. 711188 being a part of the Northeast Quarter (NE1/4) of the Southeast Quarter (SE1/4) of Section Twenty (20), Township Nineteen (19) North, Range Fifteen (15) East, Village of Winneconne, Winnebago County, Wisconsin containing 833 square feet (0.019 acres) of land and being 4 feet each side of and parallel to the following described line:

Commencing at the Northwest Corner of said Lot 1; thence N88°-24'-56"E 112.53 feet along the North line of said Lot 1; thence S01°-35'-04"E 62.00 feet; thence N88°-24'-56"E 6.00 feet to the point of beginning; thence S18°-07'-20"E 32.16 feet; thence S68°-05'-18"E 7.93 feet; thence N88°-24'-56"E 63.98 feet to the East line of said Lot 1 (same as the West right-of-way line of Tower Road) and the point of termination. The side lot line of said easement is to be shortened or lengthened to terminate at the East line of said Lot 1.

LESSEE'S 8 FOOT WIDE UTILITY EASEMENT "B"

An 8 foot wide Utility Easement being a part of Lot 1 of Certified Survey Map No. 1926, recorded in Volume 1 of Certified Survey Maps on Page 1926 as Document No. 711188 being a part of the Northeast Quarter (NE1/4) of the Southeast Quarter (SE1/4) of Section Twenty (20), Township Nineteen (19) North, Range Fifteen (15) East, Village of Winneconne, Winnebago County, Wisconsin containing 1,238 square feet (0.028 acres) of land and being 4 feet each side of and parallel to the following described line:

Commencing at the Northwest Corner of said Lot 1; thence N88°-24'-56"E 112.53 feet along the North line of said Lot 1; thence S01°-35'-04"E 62.00 feet; thence S88°-24'-56"W 31.00 feet; thence N01°-35'-04"W 13.00 feet to the point of beginning; thence S88°-24'-56"W 4.00 feet; thence S01°-35'-04"E 28.15 feet; thence S72°-55'-45"E 16.43 feet; thence N88°-01'-44"E 44.33 feet; thence S86°-11'-44"E 61.87 feet to the East line of said Lot 1 (same as the West right-of-way line of Tower Road) and the point of termination. The side lot line of said easement is to be shortened or lengthened to terminate at the East line of said Lot 1.

LESSEE'S 4 FOOT WIDE COAX EASEMENT

A 4 foot wide Coax Easement being a part of Lot 1 of Certified Survey Map No. 1926, recorded in Volume 1 of Certified Survey Maps on Page 1926 as Document No. 711188 being a part of the Northeast Quarter (NE1/4) of the Southeast Quarter (SE1/4) of Section Twenty (20), Township Nineteen (19) North, Range Fifteen (15) East, Village of Winneconne, Winnebago County, Wisconsin

containing 64 square feet (0.001 acres) of land and being 2 feet each side of and parallel to the following described line:

Commencing at the Northwest Corner of said Lot 1; thence N88°-24'-56"E 112.53 feet along the North line of said Lot 1; thence S01°-35'-04"E 60.00 feet to the point of beginning; thence N88°-24'-56"E 16.00 feet to the point of termination.

SECOND AMENDMENT TO WATER TOWER LEASE AGREEMENT

This Second Amendment to Water Tower Lease Agreement (the “Second Amendment”) is made and shall be effective, as of the last date of the signatures below (“Effective Date”), between Village of Winneconne, Wisconsin, (“Lessor”) and Alltel Corporation d/b/a Verizon Wireless d/b/a Verizon Wireless (“Lessee”). Lessor and Lessee (or their predecessors in interest) entered into that certain Water Tower Lease Agreement dated November 21, 2013, as may have been previously amended and/or assigned (the “Lease”), pursuant to which Lessee is leasing from Lessor a portion of that certain property located at 90 Tower Road, Winneconne, Winnebago County, Wisconsin, as more particularly described in the Lease. Lessor and Lessee may be referenced in this Second Amendment individually as a “Party” or collectively as the “Parties.”

In consideration of the mutual covenants and promises contained in this Second Amendment, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged by the Parties, the Parties agree to amend the Lease as follows:

1. Lessee shall be allowed to make the equipment additions or removals necessary to configure Lessee’s equipment as shown on Exhibit B-2, attached hereto. For all purposes under the Lease as amended hereby, the descriptions and specifications of Lessee’s equipment set forth in the Lease, including, without limitation, any equipment descriptions and specifications with respect to Lessee’s equipment set forth in any schedules, exhibits or attachments to the Lease, are hereby deleted and replaced with the specifications of Lessee’s equipment described in Exhibit B-2, attached hereto.
2. Effective upon the first day of the month following the date Lessee commences installation of the modifications contemplated under this Second Amendment, monthly rent for the current lease year shall be increased by \$1,256.08 and shall continue to be paid in accordance with the terms and conditions of the Lease.
3. Commencing on December 1, 2028, the Lease shall be extended for 5 years (“Initial Extension Term”) unless Lessee terminates the Lease by giving Lessor notice of such termination at least 30 days prior to the expiration of the then-current term. The term of the Lease shall thereafter automatically extend for 1 additional term of 5 years (“Additional Extension Term”), unless Lessee terminates the Lease by giving Lessor notice of such termination at least 30 days prior to the expiration of the Initial Extension Term or then-current Additional Extension Term

4. The notice address for Lessee in the Lease is hereby amended as follows:

If to Lessee: Verizon Wireless
Attn: Network Real Estate
180 Washington Valley Road
Bedminster, NJ 07921

With a copy to: Basking Ridge Mail Hub
Attn: Legal Intake
One Verizon Way
Basking Ridge, NJ 07920

5. Unless otherwise provided herein, all defined terms shall have the same meaning as ascribed to such terms in the Lease.
6. Lessor and Lessee do hereby ratify, reaffirm, adopt, contract for and agree to be, or continue to be, bound by all of the terms and conditions of the above referenced Lease. Except as modified by this Second Amendment, all of the terms and conditions of the Lease are incorporated by reference herein. Execution of this Second Amendment shall not constitute a release of Lessor or Lessee from any obligation or liability set forth in the Lease.
7. In the event of any conflict or inconsistency between the terms of this Second Amendment and the Lease, the terms of this Second Amendment shall govern and control.
8. Except as otherwise provided for in this Second Amendment, the Lease shall remain in full force and effect in accordance with the original terms of the Lease.

[SIGNATURE PAGE TO FOLLOW]

IN WITNESS WHEREOF, this Second Amendment is effective and entered into as of the date last written below:

LESSOR:

Village of Winneconne, Wisconsin

By: _____

Name: _____

Title: _____

Date: _____

LESSEE:

Alltel Corporation d/b/a Verizon Wireless

By: _____

Name: _____

Title: _____

Date: _____



EXHIBIT B-2
EQUIPMENT SPECIFICATIONS

[See attached 21 pages]

**RECORDING REQUESTED BY
AND WHEN RECORDED RETURN TO:**

Mark A. Biesiada
Ginsberg Jacobs LLC
300 South Wacker Drive, Suite 2750
Chicago, Illinois 60606
T 312.660.9619]

Site Name/ID: Winneconne / 5000093023

(Space above this line for recorder's use.)

FIRST AMENDMENT TO MEMORANDUM OF AGREEMENT

THIS FIRST AMENDMENT TO MEMORANDUM OF AGREEMENT ("Amended Memorandum") is made and shall be effective, as of the last date of the signatures below, by and between Village of Winneconne, Wisconsin, with a principal address of 30 South First Street, Winneconne, Wisconsin 54986 ("Lessor"), and Alltel Corporation d/b/a Verizon Wireless, with a principal address of One Verizon Way, Mail Stop 4AW100, Basking Ridge, New Jersey 07920 ("Lessee").

1. Lessor and Lessee (or their predecessors-in-interest) entered into that certain Water Tower Lease Agreement dated November 21, 2013, as amended, (the "Agreement"), pursuant to which Lessee has installed and is operating and maintaining telecommunications equipment and other improvements on a portion of that certain property located at 90 Tower Road, Winneconne, Winnebago County, Wisconsin (the "Property"). The Agreement is documented by that certain Memorandum of Agreement dated November 21, 2013, recorded on November 27, 2013, in the Register's Office of Winnebago County, Wisconsin as Document No. 1653491 (the "Memorandum").
2. Pursuant to the Agreement, Lessor leases to Lessee a portion of the Property, including rooftop space, space for placement of utilities and certain rights of access, as provided in the Agreement. The Property is legally described in Exhibit "A" attached hereto and made a part hereof.
3. Lessor and Lessee have entered into that certain Second Amendment to Water Tower Lease Agreement ("Amendment") concurrently with this Amended Memorandum.
4. In connection with the Amendment the Memorandum shall be amended and supplemented to incorporate the following:
 - a. The legal description set forth in Exhibit "A."
 - b. The current term of the Agreement is set to expire on November 30, 2028. Following the expiration of the current term, the Agreement shall automatically be extended for 1 additional, 5 year extension term unless Lessee notifies Lessor, in writing, of Lessee's intention not to renew at least 30 days prior to the end of

the then-current term. If at the end of the final term this Agreement has not been terminated by either Party giving the other written notice of its intention to terminate it at least 3 months prior to the end of such term, this Agreement shall continue in force upon the same covenants, terms and conditions for a further term of 5 years and for five-year terms thereafter until terminated by either Party by giving to the other written notice of its intention to so terminate at least 3 months prior to the end of such term.

6. This Amended Memorandum is not intended to amend or modify, and shall not be deemed or construed as amending or modifying, any of the terms, conditions or provisions of the Agreement, all of which are hereby ratified and affirmed. In the event of a conflict between the provisions of this Amended Memorandum and the provisions of the Agreement, the provisions of the Agreement shall control. Except as necessary to conform hereto, all of the terms and conditions of the Memorandum shall remain in full force and effect, and shall extend to and be binding upon the respective executors, administrators, heirs, successors and assigns of Lessor and Lessee.

IN WITNESS WHEREOF, this Amended Memorandum is effective and entered into as of the date last written below:

Lessor:

Village of Winneconne, Wisconsin

By: _____

Name: _____

Title: _____

Date: _____

Lessee:

Alltel Corporation d/b/a Verizon Wireless

By: _____

Name: _____

Title: _____

Date: _____

LESSOR ACKNOWLEDGMENT

STATE OF _____)
) ss:
COUNTY OF _____)

On this ____ day of _____, 20____, before me, the undersigned, a notary public in and for said state, personally appeared _____, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that she executed the same in her capacity(ies), and that by her signature on the instrument, the individual(s) or the person upon behalf of which the individual(s) acted, executed the instrument.

Notary Public: _____
My Commission Expires: _____

LESSEE ACKNOWLEDGMENT

STATE OF _____)
) ss:
COUNTY OF _____)

On this ____ day of _____, 20____, before me, the undersigned, a notary public in and for said state, personally appeared _____, as _____ of Alltel Corporation d/b/a Verizon Wireless, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that she executed the same in her capacity(ies), and that by her signature on the instrument, the individual(s) or the person upon behalf of which the individual(s) acted, executed the instrument.

Notary Public: _____
My Commission Expires: _____

Exhibit A

(Legal Description)

PARENT PARCEL

Lot One (1) according to Certified Survey Map filed in Volume 1 of Survey Maps on Page 1926 as Document No. 711188; being a part of the East ½ of the South East ¼ of Section Twenty (20), Township Nineteen (19) North, of Range Fifteen (15) East, in the Village of Winneconne, Winnebago County, Wisconsin.

LAND SPACE

A part of Lot 1 of Certified Survey Map No. 1926, recorded in Volume 1 of Certified Survey Maps on Page 1926 as Document No. 711188 being a part of the Northeast Quarter (NE1/4) of the Southeast Quarter (SE1/4) of Section Twenty (20), Township Nineteen (19) North, Range Fifteen (15) East, Village of Winneconne, Winnebago County, Wisconsin containing 1,457 square feet (0.033 acres) of land and being described by:

Commencing at the Northwest Corner of said Lot 1; thence N88°-24'-56"E 112.53 feet along the North line of said Lot 1; thence S01°-35'-04"E 15.00 feet to the point of beginning; thence S01°-35'-04"E 47.00 feet; thence S88°-24'-56"W 31.00 feet; thence N01°-35'-04"W 47.00 feet; thence N88°-24'-56"E 31.00 feet to the point of beginning; being subject to any and all easements and restrictions of record.

RIGHT OF WAY

An Access Easement being a part of Lot 1 of Certified Survey Map No. 1926, recorded in Volume 1 of Certified Survey Maps on Page 1926 as Document No. 711188 being a part of the Northeast Quarter (NE1/4) of the Southeast Quarter (SE1/4) of Section Twenty (20), Township Nineteen (19) North, Range Fifteen (15) East, Village of Winneconne, Winnebago County, Wisconsin containing 2,404 square feet (0.055 acres) of land and being described by:

Commencing at the Northwest Corner of said Lot 1; thence N88°-24'-56"E 112.53 feet along the North line of said Lot 1 to the point of beginning; thence S01°-35'-04"E 62.00 feet; thence N88°-24'-56"E 12.00 feet; thence N01°-35'-04"W 27.97 feet; thence N42°-54'-46"E 19.22 feet; thence N88°-24'-56"E 46.46 feet; thence S74°-32'-10"E 15.96 feet to the East line of said Lot 1 (same as the West right-of-way line of Tower Road); thence N00°-57'-11"W 25.00 feet along said East line to the Northeast Corner of said Lot 1; thence S88°-24'-56"W 87.47 feet along said North line to the point of beginning.

FURTHER RIGHTS OF WAY

LESSEE'S 8 FOOT WIDE UTILITY EASEMENT "A"

An 8 foot wide Utility Easement being a part of Lot 1 of Certified Survey Map No. 1926, recorded in Volume 1 of Certified Survey Maps on Page 1926 as Document No. 711188 being a part of the Northeast Quarter (NE1/4) of the Southeast Quarter (SE1/4) of Section Twenty (20), Township Nineteen (19) North, Range Fifteen (15) East, Village of Winneconne, Winnebago County, Wisconsin containing 833 square feet (0.019 acres) of land and being 4 feet each side of and parallel to the following described line:

Commencing at the Northwest Corner of said Lot 1; thence $N88^{\circ}-24'-56''E$ 112.53 feet along the North line of said Lot 1; thence $S01^{\circ}-35'-04''E$ 62.00 feet; thence $N88^{\circ}-24'-56''E$ 6.00 feet to the point of beginning; thence $S18^{\circ}-07'-20''E$ 32.16 feet; thence $S68^{\circ}-05'-18''E$ 7.93 feet; thence $N88^{\circ}-24'-56''E$ 63.98 feet to the East line of said Lot 1 (same as the West right-of-way line of Tower Road) and the point of termination. The side lot line of said easement is to be shortened or lengthened to terminate at the East line of said Lot 1.

LESSEE'S 8 FOOT WIDE UTILITY EASEMENT "B"

An 8 foot wide Utility Easement being a part of Lot 1 of Certified Survey Map No. 1926, recorded in Volume 1 of Certified Survey Maps on Page 1926 as Document No. 711188 being a part of the Northeast Quarter (NE1/4) of the Southeast Quarter (SE1/4) of Section Twenty (20), Township Nineteen (19) North, Range Fifteen (15) East, Village of Winneconne, Winnebago County, Wisconsin containing 1,238 square feet (0.028 acres) of land and being 4 feet each side of and parallel to the following described line:

Commencing at the Northwest Corner of said Lot 1; thence $N88^{\circ}-24'-56''E$ 112.53 feet along the North line of said Lot 1; thence $S01^{\circ}-35'-04''E$ 62.00 feet; thence $S88^{\circ}-24'-56''W$ 31.00 feet; thence $N01^{\circ}-35'-04''W$ 13.00 feet to the point of beginning; thence $S88^{\circ}-24'-56''W$ 4.00 feet; thence $S01^{\circ}-35'-04''E$ 28.15 feet; thence $S72^{\circ}-55'-45''E$ 16.43 feet; thence $N88^{\circ}-01'-44''E$ 44.33 feet; thence $S86^{\circ}-11'-44''E$ 61.87 feet to the East line of said Lot 1 (same as the West right-of-way line of Tower Road) and the point of termination. The side lot line of said easement is to be shortened or lengthened to terminate at the East line of said Lot 1.

LESSEE'S 4 FOOT WIDE COAX EASEMENT

A 4 foot wide Coax Easement being a part of Lot 1 of Certified Survey Map No. 1926, recorded in Volume 1 of Certified Survey Maps on Page 1926 as Document No. 711188 being a part of the Northeast Quarter (NE1/4) of the Southeast Quarter (SE1/4) of Section Twenty (20), Township Nineteen (19) North, Range Fifteen (15) East, Village of Winneconne, Winnebago County, Wisconsin

containing 64 square feet (0.001 acres) of land and being 2 feet each side of and parallel to the following described line:

Commencing at the Northwest Corner of said Lot 1; thence $N88^{\circ}-24'-56''E$ 112.53 feet along the North line of said Lot 1; thence $S01^{\circ}-35'-04''E$ 60.00 feet to the point of beginning; thence $N88^{\circ}-24'-56''E$ 16.00 feet to the point of termination.

SECOND AMENDMENT TO WATER TOWER LEASE AGREEMENT

This Second Amendment to Water Tower Lease Agreement (the “Second Amendment”) is made and shall be effective, as of the last date of the signatures below (“Effective Date”), between Village of Winneconne, Wisconsin, (“Lessor”) and Alltel Corporation d/b/a Verizon Wireless d/b/a Verizon Wireless (“Lessee”). Lessor and Lessee (or their predecessors in interest) entered into that certain Water Tower Lease Agreement dated November 21, 2013, as may have been previously amended and/or assigned (the “Lease”), pursuant to which Lessee is leasing from Lessor a portion of that certain property located at 90 Tower Road, Winneconne, Winnebago County, Wisconsin, as more particularly described in the Lease. Lessor and Lessee may be referenced in this Second Amendment individually as a “Party” or collectively as the “Parties.”

In consideration of the mutual covenants and promises contained in this Second Amendment, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged by the Parties, the Parties agree to amend the Lease as follows:

1. Lessee shall be allowed to make the equipment additions or removals necessary to configure Lessee’s equipment as shown on Exhibit B-2, attached hereto. For all purposes under the Lease as amended hereby, the descriptions and specifications of Lessee’s equipment set forth in the Lease, including, without limitation, any equipment descriptions and specifications with respect to Lessee’s equipment set forth in any schedules, exhibits or attachments to the Lease, are hereby deleted and replaced with the specifications of Lessee’s equipment described in Exhibit B-2, attached hereto.
2. Effective upon the first day of the month following the date Lessee commences installation of the modifications contemplated under this Second Amendment, monthly rent for the current lease year shall be increased by \$1,256.08 and shall continue to be paid in accordance with the terms and conditions of the Lease.
3. Commencing on December 1, 2028, the Lease shall be extended for 5 years (“Initial Extension Term”) unless Lessee terminates the Lease by giving Lessor notice of such termination at least 30 days prior to the expiration of the then-current term. The term of the Lease shall thereafter automatically extend for 1 additional term of 5 years (“Additional Extension Term”), unless Lessee terminates the Lease by giving Lessor notice of such termination at least 30 days prior to the expiration of the Initial Extension Term or then-current Additional Extension Term

4. The notice address for Lessee in the Lease is hereby amended as follows:

If to Lessee: Verizon Wireless
Attn: Network Real Estate
180 Washington Valley Road
Bedminster, NJ 07921

With a copy to: Basking Ridge Mail Hub
Attn: Legal Intake
One Verizon Way
Basking Ridge, NJ 07920
5. Unless otherwise provided herein, all defined terms shall have the same meaning as ascribed to such terms in the Lease.
6. Lessor and Lessee do hereby ratify, reaffirm, adopt, contract for and agree to be, or continue to be, bound by all of the terms and conditions of the above referenced Lease. Except as modified by this Second Amendment, all of the terms and conditions of the Lease are incorporated by reference herein. Execution of this Second Amendment shall not constitute a release of Lessor or Lessee from any obligation or liability set forth in the Lease.
7. In the event of any conflict or inconsistency between the terms of this Second Amendment and the Lease, the terms of this Second Amendment shall govern and control.
8. Except as otherwise provided for in this Second Amendment, the Lease shall remain in full force and effect in accordance with the original terms of the Lease.

[SIGNATURE PAGE TO FOLLOW]

VZW Site Name / ID: Winneconne / 5000093023

IN WITNESS WHEREOF, this Second Amendment is effective and entered into as of the date last written below:

LESSOR:

Village of Winneconne, Wisconsin

By: _____

Name: _____

Title: _____

Date: _____

LESSEE:

Alltel Corporation d/b/a Verizon Wireless

By: _____

Name: _____

Title: _____

Date: _____



VZW Site Name / ID: Winneconne / 5000093023

EXHIBIT B-2
EQUIPMENT SPECIFICATIONS

[See attached 21 pages]

APPROVALS	REAL ESTATE	RF	CONSTRUCTION	EQUIPMENT ENGINEERING	OPERATIONS



CONSULTANT TEAM	
PROJECT CONSULTANT	TERRA CONSULTING GROUP LTD 660 BUSSE HIGHWAY PARK RIDGE, IL 60068 (847) 639 8600
STRUCTURAL CONSULTANT (TOWER ANALYSIS)	KRECH OMBRO & ASSOCIATES PA 101 PUTNAM STREET EVA CLAIR, WI 54703 (715) 552-7292 (715) 552-7290 (FAX)
STRUCTURAL CONSULTANT (MOUNT ANALYSIS)	KRECH OMBRO & ASSOCIATES PA 101 PUTNAM STREET EVA CLAIR, WI 54703 (715) 552-7292 (715) 552-7290 (FAX)
MOUNT ANALYSIS STATUS	COMPLETE
MOUNT ANALYSIS RESULTS	PASS
MOUNT ANALYSIS DATE	01/22/2024
STRUCTURAL ANALYSIS DATE	01/22/2024

102 BUSSE HIGHWAY
PARK RIDGE, IL 60068
PHONE (847) 639-8600
FAX (847) 639-8601

1701 GOLF ROAD,
TOWER 2 SUITE 400
ROLLING MEADOWS, IL 60008
PHONE (847) 619-5397
FAX (847) 706-7415

1701 GOLF ROAD, TOWER 2, SUITE 400
ROLLING MEADOWS, ILLINOIS 60008
PHONE: (847) 619-5397 FAX: (847) 706-7415



MDG LOCATION NUMBER: 5000093023
SITE NAME: WINNECONNE WT
90 TOWER ROAD
WINNECONNE, WI 54986



GOOD ENGINE WILL RETURN A COPIES OF THIS AND LOCAL UNIT
PROJECT AND APPROVALS FROM LOCAL OFFICE.

GENERAL CONTRACTOR TO FOLLOW
ALL APPLICABLE BUILDING CODES
OBSERVED BY LOCAL JURISDICTION

PROJECT INFORMATION

OCCUPANCY	UNINHABITED
SITE ADDRESS	90 TOWER ROAD WINNECONNE, WI 54986
LATITUDE	44° 6' 13.32" N (APPROXIMATE)
LONGITUDE	88° 43' 31" DE W (APPROXIMATE)
STRUCTURE OWNER	VILLAGE OF WINNECONNE
APPLICANT	VERIZON WIRELESS 1701 GOLF ROAD TOWER 2 SUITE 400 ROLLING MEADOWS, IL 60008
REAL ESTATE MANAGER	ALLEN WALTERS (630) 791-7845

SHEET	DRAWING INDEX	REVISION
T-1	TITLE SHEET	1, 2
C-1	SITE LAYOUT	1
A-1	SCREEN LAYOUT	2
ANT-1	SITE ELEVATION	2
ANT-2	ANTENNA LAYOUT	2
ANT-2A	PROPOSED ANTENNA LAYOUT	2
ANT-3	ANTENNA INFORMATION	2, 3
ANT-3A	COMBINER CABINETS DATA & CABLE DIAGRAM	1, 2
ANT-4	DETAILS	2
EX-1	PHOTO EXHIBIT	*
EX-2	PHOTO EXHIBIT	*

ATTACHMENTS	RFE FCC COMPLIANCE ASSESSMENT
-------------	-------------------------------

BY	DATE	DESCRIPTION
RA	01/22/2024	ISSUED FOR FINAL
RA	01/22/2024	REVISED PER COMMENTS
RA	01/22/2024	REVISED PER COMMENTS

MDG #
5000093023

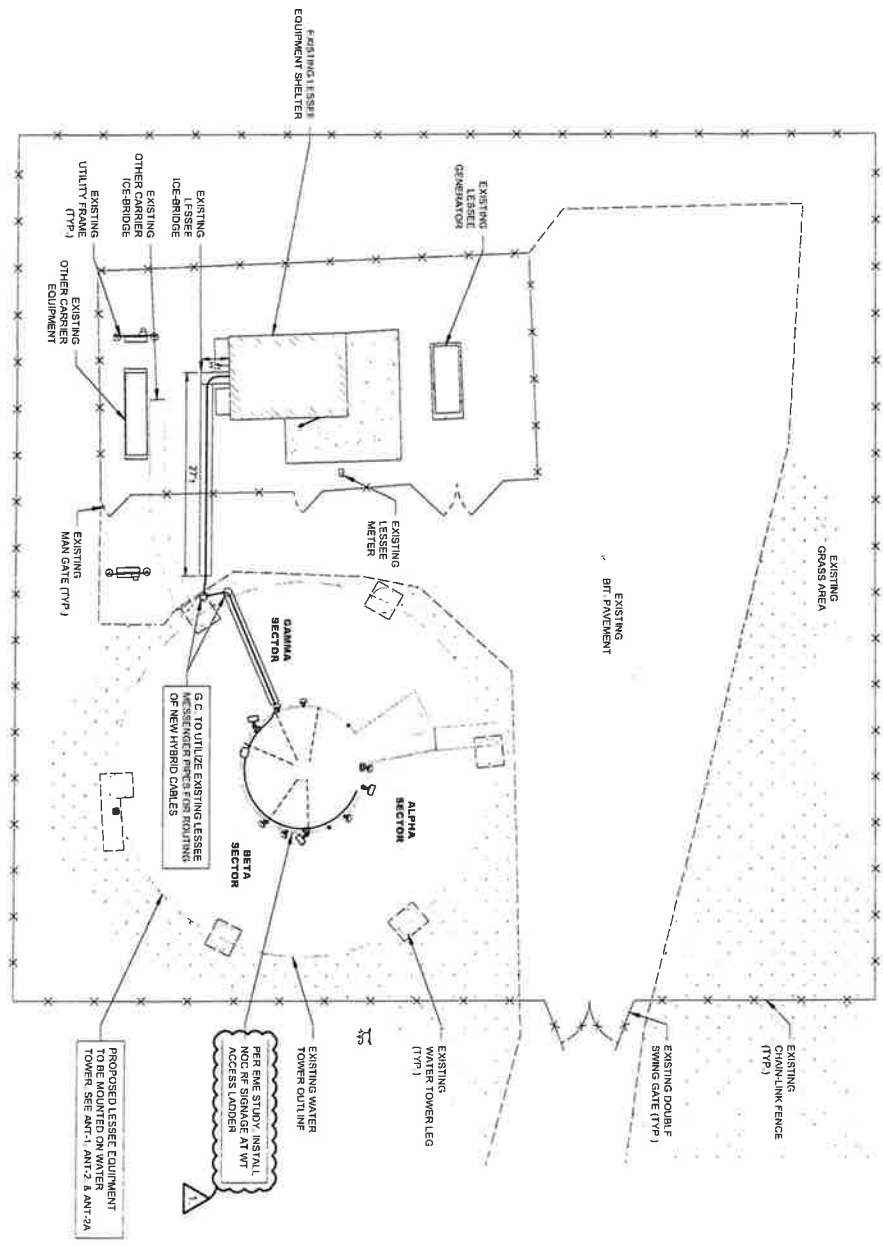
WINNECONNE
WT

90 TOWER ROAD
WINNECONNE, WI 54986

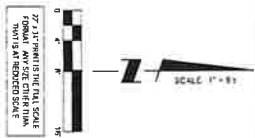
DRAWN BY	TH
CHECKED BY	ALI
DATE	02/09/2023
PROJECT #	124209
SHEET TITLE	TITLE SHEET
SHEET NUMBER	T-1

G.C. TO OCCUPY W/ LESSEE
 RESPONSIBILITY FOR PROPER
 MAINTENANCE OF THE
 MANAGER FOR PROPER INSTALLATION
 OF RF SIGNAGE & CHAIN BARRIERS

EXISTING SITE CONDITIONS SUPPLIED
 BY LESSEE. SITE VISIT WAS NOT
 PERFORMED FOR THIS UPGRADE



1 SITE LAYOUT



NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR REVIEW	08-11-2011	RA
2	ISSUED FOR FINAL	03-23-2011	RA
3	REVISED PER UPDATED RFDs AND VASA	01-25-2011	RA
4	REVISED PER COMMENTS	01-25-2011	RA

TERRA
 200 BLISSIE HIGHWAY
 PARK RIDGE, IL 60068
 PH: 847-638-6400
 FAX: 847-638-6401

verizon
 1701 GOLF ROAD
 TOWER 2, SUITE 400
 ROLLING MEADOWS, IL 60008
 PHONE: (847) 619-5397
 FAX: (847) 705-7415

MDG #
 50000933023
 WINNECONNE
 WT
 90 TOWER ROAD
 WINNECONNE, WI 54985

DATE	BY
03/23/2011	RA
01/25/2011	RA
01/25/2011	RA

PROJECT # 1043200
 SHEET 1 OF 12
 SITE LAYOUT
 SHEET NUMBER
C-1

Antenna Summary

Equipment Type	Location	700	850	AWS	AWS3	L-Side Make	Model	Centerline	Tp Height	Asmth	NET	Anta	Inst Type	Quantity	Item ID
Removed															
Added															
700	850	AWS	AWS3	L-Side Make	Model	Centerline	Tp Height	Asmth	NET	Anta	Inst Type	Quantity	Item ID		
LTE	LTE	LTE	LTE	COMMSCOPE	MMH-60C-FRM	147	142.1	140/20	280/3	None	SPALITE	3			
Removed															
700	850	AWS	AWS3	L-Side Make	Model	Centerline	Tp Height	Asmth	NET	Anta	Inst Type	Quantity	Item ID		
LTE	LTE	LTE	LTE	COMMSCOPE	MMH-60C-FRM	147	151	140/20	280/3	None	PHYSICAL	6			

1 ANTENNA SUMMARY
N.T.S.

Equipment Summary

Equipment Type	Location	700	850	AWS	AWS3	L-Side Make	Model	Centerline	Tp Height	Asmth	NET	Anta	Inst Type	Quantity	Item ID
Added															
Removed															
700	850	AWS	AWS3	L-Side Make	Model	Centerline <td>Tp Height</td> <td>Asmth</td> <td>NET</td> <td>Anta</td> <td>Inst Type</td> <td>Quantity</td> <td>Item ID</td>	Tp Height	Asmth	NET	Anta	Inst Type	Quantity	Item ID		
LTE	LTE	LTE	LTE	ERICSSON INC	ERF016784/1	147	151	140/20	280/3	None	PHYSICAL	6			
Removed															
700	850	AWS	AWS3	L-Side Make	Model	Centerline <td>Tp Height</td> <td>Asmth</td> <td>NET</td> <td>Anta</td> <td>Inst Type</td> <td>Quantity</td> <td>Item ID</td>	Tp Height	Asmth	NET	Anta	Inst Type	Quantity	Item ID		
LTE	LTE	LTE	LTE	ERICSSON INC	ERF016784/1	147	151	140/20	280/3	None	PHYSICAL	6			
Removed															
700	850	AWS	AWS3	L-Side Make	Model	Centerline <td>Tp Height</td> <td>Asmth</td> <td>NET</td> <td>Anta</td> <td>Inst Type</td> <td>Quantity</td> <td>Item ID</td>	Tp Height	Asmth	NET	Anta	Inst Type	Quantity	Item ID		
LTE	LTE	LTE	LTE	ERICSSON INC	ERF016784/1	147	151	140/20	280/3	None	PHYSICAL	6			

2 EQUIPMENT SUMMARY
N.T.S.

1701 GOLF ROAD
TOWER 2, SUITE 400
ROLLING MEADOWS, IL 60008
PHONE (847) 515-3357
FAX (847) 766-7415

600 BUSSE HIGHWAY
PARK RIDGE, IL 60065
PH: 847-686-6400
FAX: 847-308-5491

NO	DESCRIPTION	DATE	BY
1	ISSUED FOR REVIEW	10/01/2021	AA
2	ISSUED FOR FINAL	10/29/2021	BA
3	REVISED PER UPDATES BY DS AND MASA	10/28/2021	BA
4	REVISED PER COMMENTS	10/29/2021	BA

MDG #
5000093023
WINNECONNE
WT

90 TOWER ROAD
WINNECONNE, WI 54986

DRAWN BY: TH
CHECKED BY: JH
DATE: 03/08/2021
PROJECT # 1444623

SHEET TITLE
ANTENNA
INFORMATION

SHEET NUMBER

ANT-3

RF EMISSIONS REPORT PROVIDED

YES NO

DATE OF REPORT: 10/17/2023

SIGNAGE/BARRIERS REQUIRED

YES NO

ESTIMATED MAIN LINE HYBRID LENGTH

SECTOR	VERTICAL LENGTH (F)	HORIZONTAL LENGTH (F)	EQUIPMENT ROOM (F)	TOTAL (F)
ALPHA	156'	90'	16'	262'
BETA	156'	85'	16'	257'

POWER SHIFT OR POWER BOOST NEEDED DUE TO HYBRID LENGTH OVER 175 FEET

EXISTING EQUIPMENT TO BE REUSED

LOCATION	COMPONENT	COUNT
TOP	MAIN RAYCAP	1
BOTTOM	MAIN RAYCAP	1

EXISTING CABLING TO BE REUSED

TYPE	SIZE	COUNT
HYBRID	MAIN TRUNK	1
COAX	N/A	0

1 RAYCAP/HYBRID CABLE INFORMATION
N.T.S.



2 CABLE DIAGRAM
N.T.S.

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR REVIEW	09/07/2023	RA
2	REVISED PER COMMENTS	10/17/2023	RA

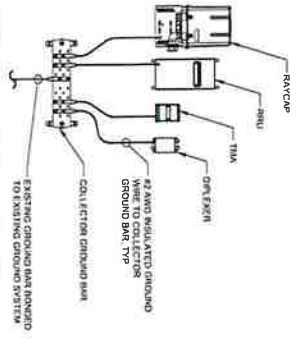


MDG #
5000093023
WINNECONNE
WT

90 TOWER ROAD
WINNECONNE, WI 54986

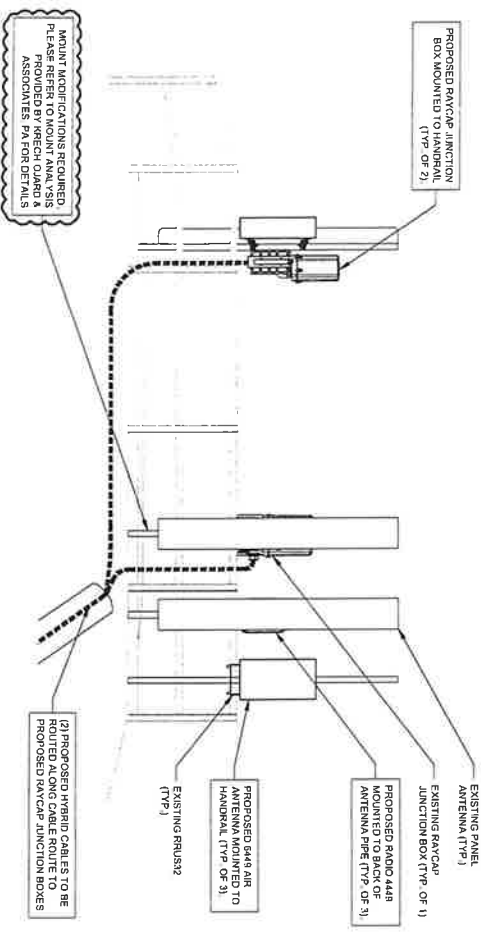
DESIGNER	TH
CHECKER	AM
DATE	09/07/2023
PROJECT	12-2409

SHEET NUMBER
ANT-3A



- NOTES
1. MATERIAL IS CONGRUENTIAL ONLY. REFER TO SECTION AND LAYOUT SHEETS FOR ACTUAL EQUIPMENT CONFIGURATION.
 2. GROUND CONNECTIONS MUST BE DOUBLE HOLE CONNECTION. SPECIAL EXCEPTION ONLY. DOUBLE HOLE CONNECTION.

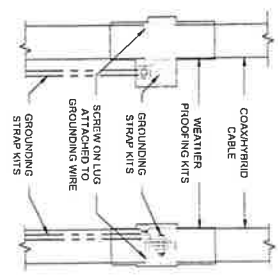
1 TYPICAL APPURTENANCE GROUNDING
SCALE: N.T.S.



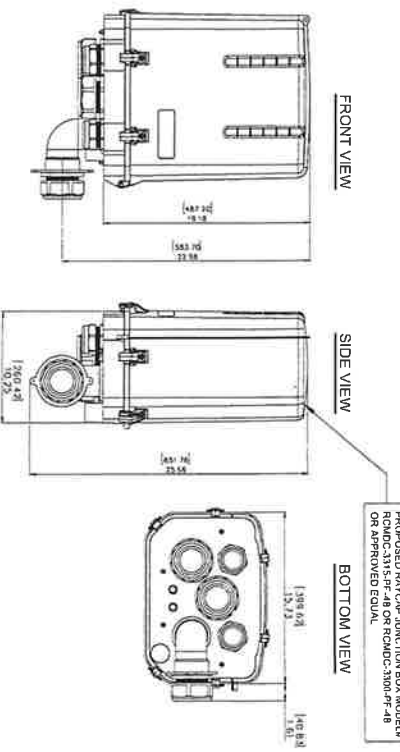
3 ANTENNA LEVEL DETAIL
SCALE: N.T.S.

NOTE
G.C. TO GROUND ALL COMPONENTS TO EXISTING GROUNDING SYSTEM.

- NOTES
1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS BRACKET GROUND WIRE DOWN TO GROUND BAR.
 2. THIS DETAIL IS TYPICAL FOR EACH COAX CABLE WHERE IT IS SPECIFIED TO BE GROUNDING.
 3. CABLE TO BE GROUNDING AT ANTENNA LEVEL AND PRIOR TO ENTERING SHELTER ENTRY PANEL.
 4. CABLE ALSO TO BE GROUNDING TO GROUND BAR AT TOWER BASE IF APPLICABLE.
 5. USE ONLY TIN PLATED GROUNDING KITS.



2 COAX / HYBRID CABLE GROUND KIT DETAIL
SCALE: N.T.S.



SPECIFICATIONS
APPLICATION: DC SURGE PROTECTION FOR REQUIREMENTS ANTENNA RADIO HEAD TOWER / BASE / ROOFTOP / ROOFTOP DISTRIBUTION MODELS
WEIGHT: 32 LBS (14.51 KG)

INCHES (mm)

PROPOSED RAYCAP JUNCTION BOX MODEL # ROMC-315-PR-48 OR ROMC-300-PR-48 OR APPROVED EQUAL

4 RAYCAP JUNCTION BOX DETAIL
SCALE: N.T.S.

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR HELVW	09/01/2011	RA
2	ISSUED FOR FINAL	02/23/2012	RA
3	REVISED PER UPDATED WFE AND WSLA	01/20/2014	RA
4	REVISED PER COMMENTS	10/10/2014	RA

TERRA
800 BUSSE HIGHWAY
PARK RIDGE, IL 60068
PH. 847-258-5656
FAX 847-258-6401

verizon
1701 GOLF ROAD,
TOWER 3, SUITE 400
ROLLING MEADOWS, IL 60008
PHONE 18471 619-5387
FAX (847) 758-7415

MDC #
5000093023

WINNECONNE
WT

90 TOWER ROAD
WINNECONNE, WI 54985

DRAWN BY: TH
CHECKED BY: AL
DATE: 02/20/2013
PROJECT # 124-2408

SCALE: N.T.S.

ANT-4



1 OVERALL BUILDING PHOTO



ALPHA SECTOR ANTENNAS



BETA SECTOR ANTENNAS



GAMMA SECTOR ANTENNAS

REVISIONS			
NO	DESCRIPTION	DATE	BY
1	ISSUED FOR CONVEY	08/11/2011	AK
2	REVISED FOR FINAL	10/13/2011	SA
3	REVISED PER UPLATED PWS AND VAS SA	11/20/2014	SA
4	REVISED PER COMMENTS	10/14/2014	AK

TERRA
 200 BUSSE HIGHWAY
 PARK RIDGE, IL 60068
 PH: 847-639-8400
 FAX: 847-639-8401

verizon
 1701 GOLF ROAD
 TOWER 2, SUITE 400
 ROLLING MEADOWS, IL 60008
 PHONE (847) 219-5397
 FAX: (847) 706-7415

MDG #
 5000093023
 WINNECONNE
 VT

90 TOWER ROAD
 WINNECONNE, WI 54986

PREPARED BY	DATE	PROJECT #	SHEET TITLE
AK	08/09/11	124-200	PHOTO EXHIBIT

EX-1



1 EXISTING LESSEE ENTRY PANEL
SCALE N.T.S.



2 LESSEE EQUIPMENT SHELTER AND CABLE ROUTE
SCALE N.T.S.



3 LESSEE CABLE ROUTE UP TANK LEG
SCALE N.T.S.

REVISIONS			
NO	DESCRIPTION	DATE	BY
1	ISSUED FOR REVIEW	10/21/2021	RA
2	ISSUED FOR FINAL	10/29/2021	RA
3	REVISED PER UPDATED NOTES AND VISA	10/29/2021	AA
4	REVISED PER COMMENTS	10/29/2021	AA

MDG #
5000093023

WINNECONNE
WT

50 TOWER ROAD
WINNECONNE, WI 54986

DRAWN BY	TH
CHECKED BY	AJ
DATE	02/09/2023
PROJECT #	124-2409

SHEET TITLE
PHOTO EXHIBIT

SHEET NUMBER
EX-2

500 BUSSE HIGHWAY
PARK RIDGE, IL 60064
PH: 847-288-6400
FAX: 847-288-6401

1701 GOLF ROAD,
TOWER 2, SUITE 400
ROLLING MEADOWS, IL 60008
PHONE: (847) 515-5397
FAX: (847) 708-7415

verizon® Radio Frequency Exposure FCC Compliance Assessment

Pre-Activation Post-Activation

SITE-SPECIFIC INFORMATION

Site Name: WINNECONNE VT
 Street Address: 90 Tower Road
 City, State, Zip: Winneconne, WI 54986

Verizon's Max % MPE (Measured - General Public): 11683.42%

Structure Type: Water Tank
 Broadcast (AM/FM/TV): YES NO
 Co-Locators: 1
 Total Access Points: 1
 Original Report Date: 10/17/2023

Compliance Status: COMPLIANT AS DESIGNED, no mitigation required
 MITIGATION IS REQUIRED (Barriers, Signs, RF Safety Plan, etc., see below)

Multi-License Facility: YES NO
 Is Verizon a Significant Contributor to Co-Locator: YES NO
 Areas Requiring Mitigation? YES NO
 Verizon's Max % MPE (Predictive - General Public): 11683.42%

Assessment Purpose: YES NO
 Assessment Date: 10/17/2023
 Total Report Revisions: 1
 Report Revision Date: 10/17/2023
 Modification: YES NO

VERIZON'S WORST-CASE RE EMISSIONS IN ACCESSIBLE AREAS AT THIS FACILITY

- BELOW the General Population MPE limit
- ABOVE the General Population MPE limit and BELOW the Occupational MPE limit
- ABOVE the Occupational MPE limit and BELOW 10x the Occupational MPE limit
- ABOVE 10x the Occupational MPE limit

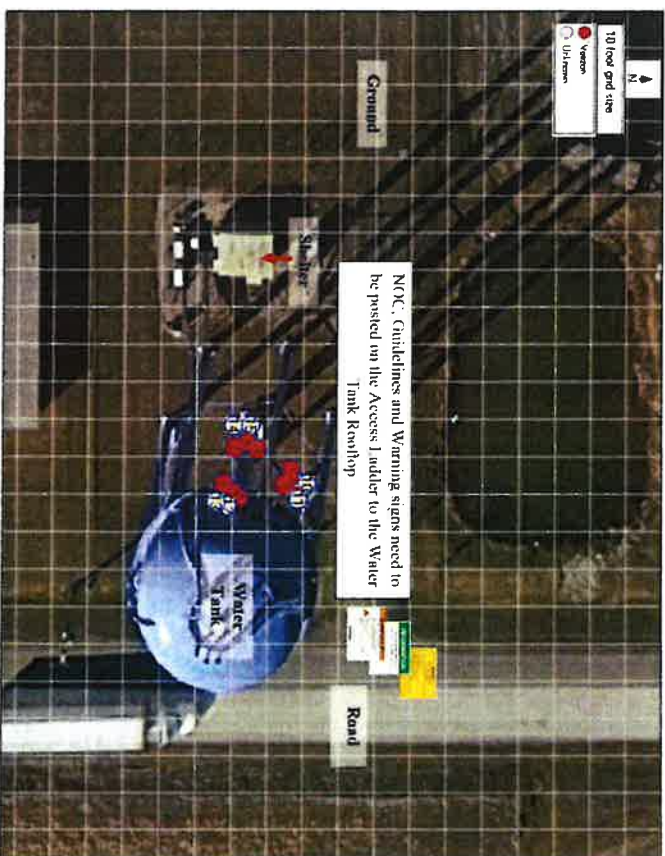


	GUIDELINES	NOTICE	CAUTION	WARNING	NOC INFO	BARRIER/MARKER
Access Point(s)	<input checked="" type="checkbox"/> (1)	<input type="checkbox"/> (#)	<input type="checkbox"/> (#)	<input checked="" type="checkbox"/> (1)	<input checked="" type="checkbox"/> (1)	<input type="checkbox"/>
Alpha	<input type="checkbox"/> (#)	<input type="checkbox"/> (#)	<input type="checkbox"/> (#)	<input type="checkbox"/> (#)	<input type="checkbox"/> (#)	<input type="checkbox"/>
Beta	<input type="checkbox"/> (#)	<input type="checkbox"/> (#)	<input type="checkbox"/> (#)	<input type="checkbox"/> (#)	<input type="checkbox"/> (#)	<input type="checkbox"/>
Gamma	<input type="checkbox"/> (#)	<input type="checkbox"/> (#)	<input type="checkbox"/> (#)	<input type="checkbox"/> (#)	<input type="checkbox"/> (#)	<input type="checkbox"/>

NOTE: The table above represents EVERY compliance item that MUST be implemented at this location. Also, in Sec. 4 (B)

RF Safety Plan required Engineering Controls required

h. Signage/Barrier Diagram





Access Point(s)	GUIDELINES	NOTICE	CAUTION	WARNING	NO C. INFO	BARRIER/MARKER
Alpha	<input checked="" type="checkbox"/> 11	<input type="checkbox"/> 1#	<input type="checkbox"/> 1#	<input checked="" type="checkbox"/> 11	<input checked="" type="checkbox"/> 11	<input type="checkbox"/>
Beta	<input type="checkbox"/> 1#	<input type="checkbox"/> 1#	<input type="checkbox"/> 1#	<input type="checkbox"/> 1#	<input type="checkbox"/> 1#	<input type="checkbox"/>
Gamma	<input type="checkbox"/> 1#	<input type="checkbox"/> 1#	<input type="checkbox"/> 1#	<input type="checkbox"/> 1#	<input type="checkbox"/> 1#	<input type="checkbox"/>

NOTE: The table above represents EVERY compliance item that MUST be implemented at this location.

c. Signage/Barrier Installation Detail



Access Point(s)	GUIDELINES	NOTICE	CAUTION	WARNING	NO C. INFO	BARRIER/MARKER
Alpha	<input type="checkbox"/> 1#	<input type="checkbox"/> 1#	<input type="checkbox"/> 1#	<input type="checkbox"/> 1#	<input type="checkbox"/> 1#	<input type="checkbox"/> 1#
Beta	<input type="checkbox"/> 1#	<input type="checkbox"/> 1#	<input type="checkbox"/> 1#	<input type="checkbox"/> 1#	<input type="checkbox"/> 1#	<input type="checkbox"/> 1#
Gamma	<input type="checkbox"/> 1#	<input type="checkbox"/> 1#	<input type="checkbox"/> 1#	<input type="checkbox"/> 1#	<input type="checkbox"/> 1#	<input type="checkbox"/> 1#

NOTE: The table represents either the signage/barriers installed / removed OR items required by the market (if mitigation is not installed by consultant/vendor).

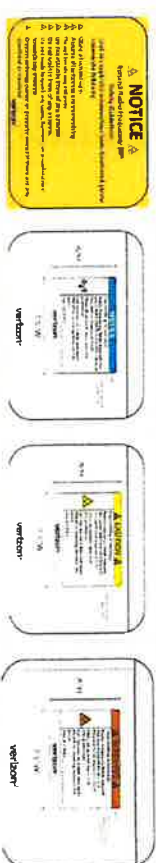
If signage/barriers NOT installed during visit and to be installed by Market please fill out the chart below

Items to be Installed	SPECIAL MITIGATION INSTRUCTIONS
Items to be Repaired/Replaced	

c. RF Signage

Areas or portions of any transmitter site may be susceptible to high power densities that could cause personnel exposures in excess of the FCC guidelines. These areas must be demarcated by conspicuously posted signage that identifies the potential exposure. Signage MUST be viewable regardless of the viewer's position.

GUIDELINES	Category Two - Notice	Category Three - Caution	Category Four - Warning
This sign will inform anyone of the basic precautions to follow when entering an area with transmitting radiofrequency equipment.	This sign indicates that RF emissions may exceed the FCC General Population MPE limit.	This sign indicates that RF emissions may exceed the FCC Occupational MPE limit.	This sign indicates that RF emissions may exceed at least 10x the FCC Occupational MPE limit.
	<ul style="list-style-type: none"> Sign Color Blue Sign Signal Word "Notice" 	<ul style="list-style-type: none"> Sign Color Yellow Sign Signal Word "Caution" 	<ul style="list-style-type: none"> Sign Color Orange for Warning Sign Signal Word "Warning"



Category One - Information

Information signs are used as a means to provide contact information for any questions or concerns. They will include specific cell site identification information and the Verizon Wireless Network Operations Center phone number.

- Sign Color Green
- Sign Signal Word "Information"
- Signs for Category Two through Four must have the following:
 - Appropriate signal word associated color [i.e., "DANGER" (red), "WARNING" (orange), "CAUTION" (yellow), "NOTICE" (blue)].

- RF energy advisory symbol.
- An explanation of the RF source.
- Behavior necessary to comply with the exposure limits; and
- Up-to-date contact information.

Signage Design Features

- All signs shall be furnished with rounded or blunt corners and shall be free from sharp edges, burrs, splinters, or other sharp projections. The ends or heads of bolts or other fastening devices shall be located in such a way that they do not constitute a hazard.

d. Physical Barriers

Physical barriers are control measures that require awareness and participation of personnel. Physical barriers are employed as an additional administration control to complement RF signage and physically demarcate an area in which RF exposure levels may exceed the FCC General Population limit. Example: chain-connected stanchions.

e. Indicative Markers

Indicative markers are visible control measures that require awareness and participation of personnel, as they cannot physically prevent someone from entering an area of potential concern. Indicative markers are employed as an additional administration control to complement RF signage and visually demarcate an area in which RF exposure levels may exceed the FCC General Population limit. Example: paint stripes.

To: Kate Schmidt
Terra Consulting Group
600 Busse Highway
Park Ridge, Illinois 60068

From: Krech Ojard & Associates, Inc.
101 Putnam St.
Eau Claire, WI 54703

RE: Winneconne WT, 90 Tower Road, Winneconne, WI 54986
(Verizon Location Number: 226448)
KOA project No: 232001.35



Dated
1/22/2024

Dear Kate,

The following letter is written to address the re-evaluation of the Verizon antenna installation at Winneconne WT. A previous analysis by Krech Ojard & Associates (KOA) was provided on 8/3/2023 for the antenna and equipment installation as listed in the RFDS dated 3/08/2023. Since then, Verizon has provided an updated RFDS dated 11/30/2023. Below is a table of the previous and proposed RFDS antenna and equipment loading.

Previous RFDS (3/08/2023)
(6) COMMSCOPE NHH-65C-R2B (RAD = 147')
(3) ERICSSON AIR 6449 (RAD = 147')
(3) RRU 4449
(6) ERICSSON RRU 8843
(3) RAYCAP RVZDC-3315-PF-48

(2) HYBRID CABLES

Proposed RFDS (11/30/2023)
(6) COMMSCOPE NHH-65C-R2B (RAD = 147')
(3) ERICSSON AIR 6449 (RAD = 147')
(3) ERICSSON KRC161749/1
(3) RRUS32 B66A
(2) RAYCAP RVZDC-3315-PF-48
(1) RC3DC-3315-PF-48
(3) HYBRID CABLES

The proposed equipment in the new RFDS has a reduction in both gravity and wind load from the previous RFDS. Thus, the previous analysis is valid for the new RFDS. There should be no impact on the antenna and equipment mounts or overturning capacity of the tank. In conclusion, the previous mount and tank analysis dated 8/3/2023, is valid for the updated RFDS. If you should have any questions, please feel free to contact me at 715-552-7374

Sincerely,

Sarah M. Brost, PE
SR. Engineer | Structural Group

WINNECCONE WATER TOWER
90 TOWER DRIVE
WINNECONNE WI, 54986
STRUCTURAL MOUNT & TANK ANALYSIS REPORT FOR VERIZON
(#226448)

August 3, 2023
KOA PROJECT NO.: 232001.35



PREPARED BY:
SARAH BROST & RORY IERIEU
KRECH OJARD & ASSOCIATES, INC.
101 PUTNAM ST.
EAU CLAIRE, WI 54703
715-552-7374

PROFESSIONAL SEAL:



Dated 8/3/2023
Pages 1-40

Sarah M. Brost
Page 1

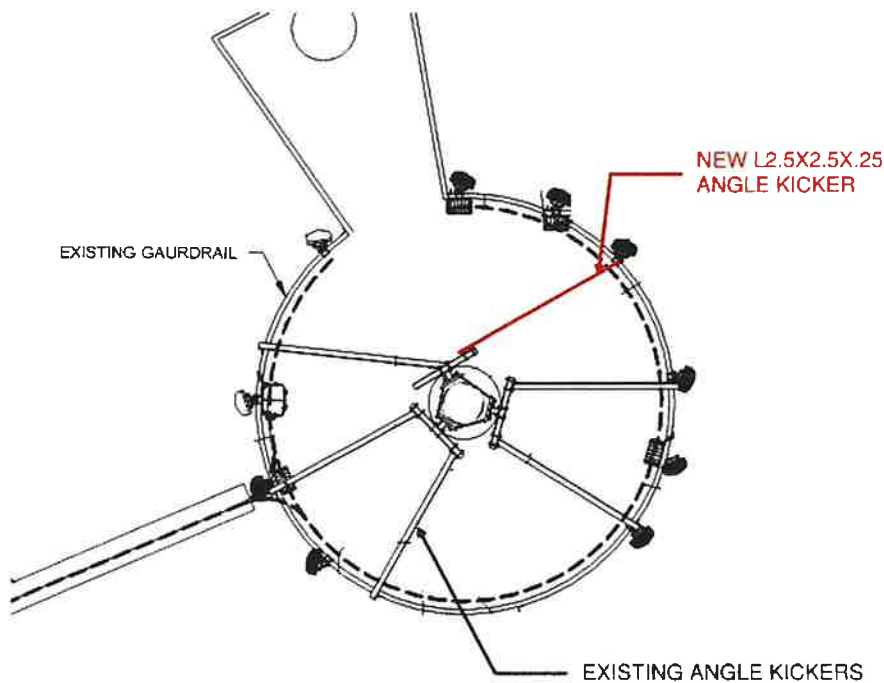
Verizon is proposing to install new antennas and equipment at the Winneconne water tower site. The proposed antennas and equipment are listed below and noted in the RFDS dated 03/08/2023.

MOUNT ANALYSIS SUMMARY:

The proposed Verizon antennas will be installed on the existing handrail located on the roof of the tank. The layout of the telecom equipment on the tank can be found in the Tower Mapping Report by Hightower Solutions, Inc. dated 06/28/2023. The mounts were analyzed based on the loading and requirements per the TIA-222-H. With the proposed antennas installed, the existing handrail will be overstressed. It is recommended to install (1) additional kicker/brace at the location shown in the sketch below. With the additional kicker brace installed, the existing handrail will be designed to 83% of its allowable design strength and is sufficient to support the change in loading.

The existing handrail requires (1) additional kicker brace in the location shown below. With the additional kicker installed, the existing handrail can safely resist the resultant forces from the change in loading.

The following plan/detail was taken from the 2017 installation drawings by Krech Ojard & Associates. It is recommended to install a new kicker shown below in red. Follow the 2017 drawings for additional information.



Proposed Final Verizon and Equipment

- (6) COMMSCOPE NHH-65C-R2B (RAD = 147'-0")
- (3) ERICSSON AIR 6449 (RAD = 147'-0")
- (3) ERICSSON RRU 4449
- (6) ERICSSON RRU 8843
- (3) RAYCAP RVZDC-3315-PF-48
- (2) HYBRID CABLES

Existing Other Carrier Equipment to remain:

The following list of existing other carriers on the tank was provided in the mapping report. There are assumed to be no additional antennas or equipment on the tank platform besides those listed below.

Equipment on Water Tower:

- (6) KATHREIN PANEL ANTENNAS (RAD = 116'-0")
- (3) RRUS 11 B4 (RAD = 114'-0")
- (1) YAGI @ 20'

WATER TANK ANALYSIS RESULTS SUMMARY:

The water tower has been analyzed for the original and proposed new antenna loading. A basic wind speed of 119 MPH, Exposure C, with an importance factor of 1 was used in the analysis. Upon installation of the proposed antennas, the water tower's overturning will increase a total of 11.45% (self-weight of tank with full wind load), which includes the addition of the other telecommunication equipment and mounts.

Tower Rods:

The tower has three tiers with the top, middle and bottom tiers having 1-1/4", 1-1/2" and 1-5/8" diameter Class 1 rods, respectively. The maximum change in stress in the bottom two tiers is 9.78, which is less than the 10% allowed by the IEBC. The top tier will have a stress increase of 13.74%, however, the tension in the rods are 83% of the allowable.

The tower rods are capable of safely resisting the change in loading.

Tower Struts:

The tower struts were analyzed for their change in loading with the proposed antennas. The maximum stress increase in the tower struts is 9.78%, which is less than the 10% allowed by the IEBC.

The tower struts are capable of safely resisting the change in loading.

Tower Support Legs:

The tower is constructed of (6) 32" diameter round support columns. The stress in the columns is controlled by the weight of the water. With the proposed antennas installed, the stress in the columns increases due to both gravity load and axial load from the increase in overturning. The percent change in the combined gravity + wind is 0.49%, which is less than the 5% gravity allowance by the IEBC.

The tower legs are capable of safely resisting the change in loading.

Anchorage:

The tower has (6) legs with (2) 1-1/2" diameter anchors per leg. It is assumed the anchors are grade A36 steel. The anchor bolts are stressed to 95% of their allowable steel design stress, when the tank is empty and full wind load is applied. The anchor bolts were checked based on the requirements and allowable unit stresses found in the AWWA code.

The tower leg anchorage is capable of safely resisting the change in loading.

Soil Bearing Capacity Summary:

The soil bearing pressure been analyzed for the original and proposed new antenna loading. Maximum bearing occurs when the tank is full of water and full wind is applied to the tank. The new maximum bearing pressure is approximately 2% higher than the original demand. The International Existing Building Code (IEBC) states; "Any existing lateral load-carrying structural element whose demand-capacity ratio with the addition considered is no more than 10 percent greater than its demand-capacity ratio with the addition ignored shall be permitted to remain unaltered." Current soil pressure increase of 2% is less than the 10% allowed per the IEBC.

Tank foundation can safely support the change in loading.

The water tower is capable of safely resisting the resultant forces from the change in loading.

ASSUMPTIONS:

- Because the information was not readily available in the information provided, Krech Ojard & Associates made the following assumptions in their analysis:
 - The tank rods are constructed of class 1 material
 - Anchor bolts are Gr. 36 ksi steel
- Original self-weight of tank is 199.79 kips
- Any reinforcement or modifications are assumed to be fully installed and functional.
- The International Existing Building Code (IEBC) states; "Any existing lateral load-carrying structural element whose demand-capacity ratio with the addition considered is no more than 10 percent greater than its demand-capacity ratio with the addition ignored shall be permitted to remain unaltered." Because the weight of the telecommunication equipment compared to the full tank is negligible, seismic considerations were not considered.
- All welds are assumed to have been performed to current welding standards and are assumed to develop their full capacity and to be in good condition. All bolts and bolt-like anchors are assumed to be fully tightened, fastened or bonded to the manufacturers' specifications and are assumed to have full capacity.
- Soil conditions and foundations are not considered unless specified in the analysis and have no deterioration or defects.
- The information provided to Krech Ojard & Associates for analysis is assumed accurate and up to date.
- The tower is assumed to be properly maintained and monitored and this analysis cannot be a considered a condition assessment of the tower. No accommodation is taken for damaged, rusted, deteriorated, or otherwise compromised member conditions.

If it is determined that any of these assumptions are not accurate, this analysis is void and an additional analysis should be performed.

REFERENCED DOCUMENTS:

- Verizon RFDS dated 3/8/2023
- Hightower Solutions Inc. Mapping report dated 6/28/2023
- Previous Verizon installation drawings by Krech Ojard & Associates dated 6/19/2017
- Original tank and foundation drawings by Universal Tank & Iron dated 5/25/82

CODES & STANDARDS:

- American Water Works Association AWWA D100-21
- ASCE 7-16
- 2015 International Existing Building Code
- TIA-222 Rev H
- AISC 15th Edition LRFD

MOUNT ANALYSIS PER TIA-222-H

Agreement for Hauling of Wastewater Treatment Sludge

This agreement is made this 5th day of Sept., 2024 between the Village Winneconne, WI and Jeff Waldvogel Trucking, Inc.

WITNESSETH:

Whereas, the Village of Winneconne owns and operates a wastewater facility that produces cake sludge with a storage capacity of about 1000 cubic yards which requires offsite land application.

Whereas, Jeff Waldvogel Trucking, Inc. represents they have the knowledge, trucks and equipment necessary to accommodate such offsite land application.

Now therefore, in consideration of the covenants and agreements herein contained, it is hereby agreed by and between the parties hereto as follows:

- 1) The effective date of this agreement shall be January 1, 2025.
- 2) The term of this agreement shall be 4 years from the effective date, subject to the termination provisions set forth herein.
- 3) Jeff Waldvogel Trucking shall be the contract hauler for the cake sludge provide by the Village of Winneconne with the following:
 - a) Sufficient applicator trucks to evacuate as needed from the Village of Winneconne Wastewater Treatment storage for land application.
 - b) Jeff Waldvogel Trucking, Inc. shall land apply the waste collected at the Village of Winneconne on sites provided by Jeff Waldvogel Trucking and permitted by federal, state and local laws.
 - c) Jeff Waldvogel Trucking, Inc. shall provide all reports and documentation required by the Village of Winneconne to comply with local, state and federal regulations, including, but not limited to:
 - (i) Method of spreading
 - (ii) Site locations and rates of spreading
 - (iii) Cake sludge application rates
 - d) Jeff Waldvogel Trucking, Inc. shall comply with all applicable regulations governing the transport and spreading of cake and lime sludge, in Wisconsin Administrative Code part NR 204.
 - e) Jeff Waldvogel Trucking, Inc. shall provide proof of adequate liability insurance.

4) Village of Winneconne's obligation:

- a) Pay Jeff Waldvogel Trucking, Inc. \$15.00 per yard 2025.
\$15.25 per yard 2026.
\$15.50 per yard 2027.
\$16.00 per yard 2028.

b) The Village of Winneconne shall obtain all necessary permits to operate the wastewater treatment facility and to prepare wastewater sludge for land application by Jeff Waldvogel Trucking, Inc.

c) The Village of Winneconne shall provide all records and results of sludge monitoring required by EPA and DNR, including and thru the duration of this contract:

- (i) Pollutant concentrations
- (ii) Nitrogen concentration (TKN, ammonia, and nitrate)
- (iii) Pathogen reduction level achieved (Class A or B)
- (iv) Vector attraction reduction option used

d) The Village of Winneconne shall provide a sludge that is compliant with the minimum land application criteria set forth in either 40 CFR Part 503 or Wisconsin Administrative Code NR204, as applicable.

e) The Village of Winneconne will hold Jeff Waldvogel Trucking, Inc. harmless for damages resulting from inadequate stabilization or noncompliant sludge characteristics unless Jeff Waldvogel Trucking, Inc. is compensated for providing such stabilization.

5) Termination of this agreement may be conducted as follows:

a) The term of this agreement shall be for 4 years unless either party gives written notification of a minimum of 60 days prior to the requested termination

b) Violation of this agreement or applicable requirements shall be cause for termination of this agreement in its entirety, upon 30-day notice.

Village of Winneconne

Jeff Waldvogel Trucking, Inc

By _____
Dated

By *Jeffrey Waldvogel*
Dated
9-5-2024

**APPLICATION
FOR PAYMENT**

VILLAGE OF WINNECONNE
30 South 1st Street
Winneconne, WI 54986

PROJECT: Birch Street
CONTRACTOR: LaLonde Contractors, Inc.
Contract No. W0011-09-21-00709.02
Project No. W0011-09-21-00709.02
Application No. Three (3) - Final
Application Date _____
Period From _____ To _____

Application Is Made For Payment In Connection With The Above Contract.

The following documents are attached:

- Schedule Of Values
- Schedule Of Unit Prices
- Inventory Of Stored Materials

The Present Status Of The Account For This Contract Is As Follows:

Original Contract	<u>\$312,668.01</u>	Completed To Date	<u>\$323,084.43</u>
Net Change Orders	<u>+ \$10,416.42</u>	Retainage	<u>\$0.00</u>
Current Contract Amount	<u>\$323,084.43</u>	Subtotal	<u>\$323,084.43</u>
		Previous Applications	<u>\$305,542.77</u>

Amount Due This Application: \$17,541.66

The undersigned Contractor hereby swears, under penalty of perjury, that (1 All previous progress payments received from the Owner, on account of work performed under the contract referred to above, have been applied by the undersigned to discharge in full all obligations of the undersigned incurred in connection with work covered by prior Applications For Payment under said contract, being Applications For Payment numbered 1 through _____ inclusive; and 2) All materials and equipment incorporated in said project or otherwise listed in or covered by this Application For Payment are free and clear of all liens, claims, security interests and encumbrances.

Dated _____ 20 _____
_____ (contractor)

By _____
_____ (name & title)

COUNTY OF _____ }
STATE OF _____ } ss

Before me on this _____ day of _____ 20 _____ personally appeared _____
_____ known to me, who being duly sworn, did depose and say that he/she is the _____
_____ of the Contractor above mentioned; that he/she
_____ (title)

executed the above Application For Payment and statement on behalf of said Contractor; and that all of the statements contained therein are true, correct and complete.

My Commission Expires: _____
_____ (Notary Public)

CERTIFICATE FOR PAYMENT #3 - FINAL

VILLAGE OF WINNECONNE
2022 STREET RECONSTRUCTION | BIRCH STREET
Contract No. W0011-09-21-00709.02

Engineer: McMAHON ASSOCIATES, INC.
1445 McMahon Drive
PO Box 1025
Neenah, WI 54956 / 54957-1025

LALONDE CONTRACTORS, INC.
1609 Lincoln Avenue
Waukegan, WI 53186

Item	Description	Qty	Unit	Bid Quantities		Cent Pay 01		Cent Pay 02		Cent Pay 03		Completed To Date	
				Unit Price	Total	Qty	Total	Qty	Total	Qty	Total	Qty	Total
1.	Mobilization / Bonding	1	L.S.	\$44,430.00	\$44,430.00	0.50	\$22,215.32	0.50	\$22,215.31		\$0.00	1	\$44,430.00
2.	Unclassified Excavation	1	L.S.	\$16,320.00	\$16,320.00	1	\$16,320.00		\$0.00		\$0.00	1	\$16,320.00
3.	Excavation Below Subgrade (EBS)	300	C.Y.	\$42.00	\$12,600.00	300	\$12,600.00	-300	-\$12,600.00		\$0.00	0	\$0.00
4.	30 Inch Curb and Gutter	39	L.F.	\$39.64	\$1,536.84		\$0.00	42	\$1,664.88		\$0.00	42	\$1,664.88
5.	Geogrid	3,635	S.Y.	\$4.50	\$16,357.50	3,528.19	\$15,876.86	106.81	\$480.64		\$0.00	3,635	\$16,357.50
6.	8 Inch Base Course	3,263	S.Y.	\$5.50	\$17,946.50	3,598	\$19,789.00	37	\$203.50		\$0.00	3,263	\$17,946.50
7.	6 Inch Integral Concrete Street Pavement	120	S.Y.	\$34.07	\$4,088.40		\$0.00	3,261	\$111,102.27		\$0.00	3,261	\$111,102.27
8.	4 Inch Asphalt Pavement with 12 Inch Base Course	120	S.Y.	\$59.40	\$7,128.00	120	\$7,128.00	51	\$3,028.40		\$0.00	171	\$10,156.40
9.	3 Inch Asphalt Pavement with 12 Inch Base Course	92	S.Y.	\$54.20	\$4,986.40	92	\$4,986.40	-77	-\$4,173.40		\$0.00	15	\$813.00
10.	3 Inch Asphalt Driveways with 12 Inch Base Course	131	S.Y.	\$54.20	\$7,100.60	136.29	\$7,386.92	-37.29	-\$2,021.12		\$0.00	99	\$5,365.80
11.	6 Inch Concrete Apron/Sidewalk with Base	4,865	S.F.	\$8.60	\$41,839.00		\$0.00	5,390	\$46,354.00		\$0.00	5,390	\$46,354.00
12.	#6 Epoxy Coated Tie Bar	30	Ea.	\$8.96	\$268.80		\$0.00	29	\$259.84		\$0.00	29	\$259.84
13.	3 Inch Topsoil, Seed and E-Mat	2,923	S.Y.	\$4.15	\$12,130.45		\$0.00	3,216	\$13,348.35		\$0.00	3,216	\$13,348.35
14.	Temporary Mailbox Cluster	1	L.S.	\$900.00	\$900.00		\$0.00	1	\$900.00		\$0.00	1	\$900.00
15.	Install New Mailbox Post	9	Ea.	\$100.00	\$900.00		\$0.00	14	\$1,400.00		\$0.00	14	\$1,400.00
16.	Install New Mailbox	4	Ea.	\$50.00	\$200.00	4	\$200.00	-4	-\$200.00		\$0.00	0	\$0.00
17.	Inlet Protection	4	Ea.	\$90.00	\$360.00		\$0.00	14	\$1,260.00		\$0.00	14	\$1,260.00
18.	Traffic Control	1	L.S.	\$2,485.00	\$2,485.00	0.50	\$1,242.50	0.50	\$1,242.50		\$0.00	1	\$2,485.00
19.	Full Depth Sawcut Concrete Pavement	142	L.F.	\$2.35	\$331.70		\$0.00	23	\$52.85		\$0.00	67	\$150.75
20.	Sawcut Asphalt Paving	285	L.F.	\$1.50	\$427.50		\$0.00	23	\$34.50		\$0.00	308	\$462.00
21.	Final Water Valve Box Adjustment	4	Ea.	\$386.00	\$1,544.00	0	\$0.00	4	\$1,424.00		\$0.00	4	\$1,424.00
22.	Final Manhole Casting Adjustment	4	Ea.	\$935.00	\$3,740.00	0	\$0.00	2	\$1,210.00		\$0.00	2	\$1,210.00
23.	Crtek Internal Chimney Seal	4	Ea.	\$80.00	\$320.00	0	\$0.00	3	\$2,805.00		\$0.00	3	\$2,805.00
24.	Stump Grubbing	36	Ea.	\$80.00	\$2,880.00	0	\$0.00	0	\$0.00		\$0.00	0	\$0.00
25.	Silt Fence / Erosion Log	35	L.F.	\$900.00	\$31,500.00	35	\$280.00	1	\$900.00		\$0.00	35	\$2,800.00
	Extra Asphalt Pavement Removal 7th / Birch Intersection	0	L.S.	\$1.65	\$0.00		\$0.00	1	\$900.00		\$0.00	1	\$900.00
	Extra 4 Inch Asphalt Pavement with No Base Course	0	S.Y.	\$39.64	\$0.00		\$0.00	309	\$15,959.85		\$0.00	420	\$21,693.00
	Extra Curb and Gutter - 632 Division Street Apron Widening	0	L.F.	\$39.64	\$0.00		\$0.00	9	\$356.76		\$0.00	9	\$356.76
	Extra Driveway - 632 Division Street Apron Widening	0	S.F.	\$8.60	\$0.00		\$0.00	55	\$473.00		\$0.00	55	\$473.00
	Extra Sawcut - 632 Division Street Apron Widening	0	L.F.	\$2.25	\$0.00		\$0.00	35	\$78.75		\$0.00	35	\$78.75
	Extra Removals and Prep (2 Men, Skid Steer and Dump Truck) - 632 Division Street Apron Widening	0	Hr	\$800.00	\$0.00		\$0.00	1	\$800.00		\$0.00	1	\$800.00
	Extra Turf Restoration- 632 Division Street Apron Widening	0	L.S.	\$100.00	\$0.00		\$0.00	1	\$100.00		\$0.00	1	\$100.00
TOTAL				\$312,668.01	\$1,088,932.00		\$1,088,932.00		\$206,610.77		\$7,541.66		\$323,084.43

Completed to Date:	\$323,084.43
Retainage:	\$0.00
Subtotal:	\$323,084.43
Previous Application:	\$905,542.77
Amount Due This Application:	\$117,541.66

COMBINATION CERTIFIED SURVEY MAP NO. _____

ALL OF LOTS 19 & 20 OF "G.F. WRIGHT'S ADDITION TO WINNECONNE,"
 LOCATED IN THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION
 22, TOWNSHIP 19 NORTH, RANGE 15 EAST, VILLAGE OF WINNECONNE,
 WINNEBAGO COUNTY, WISCONSIN.

OWNER(S) OF RECORD:

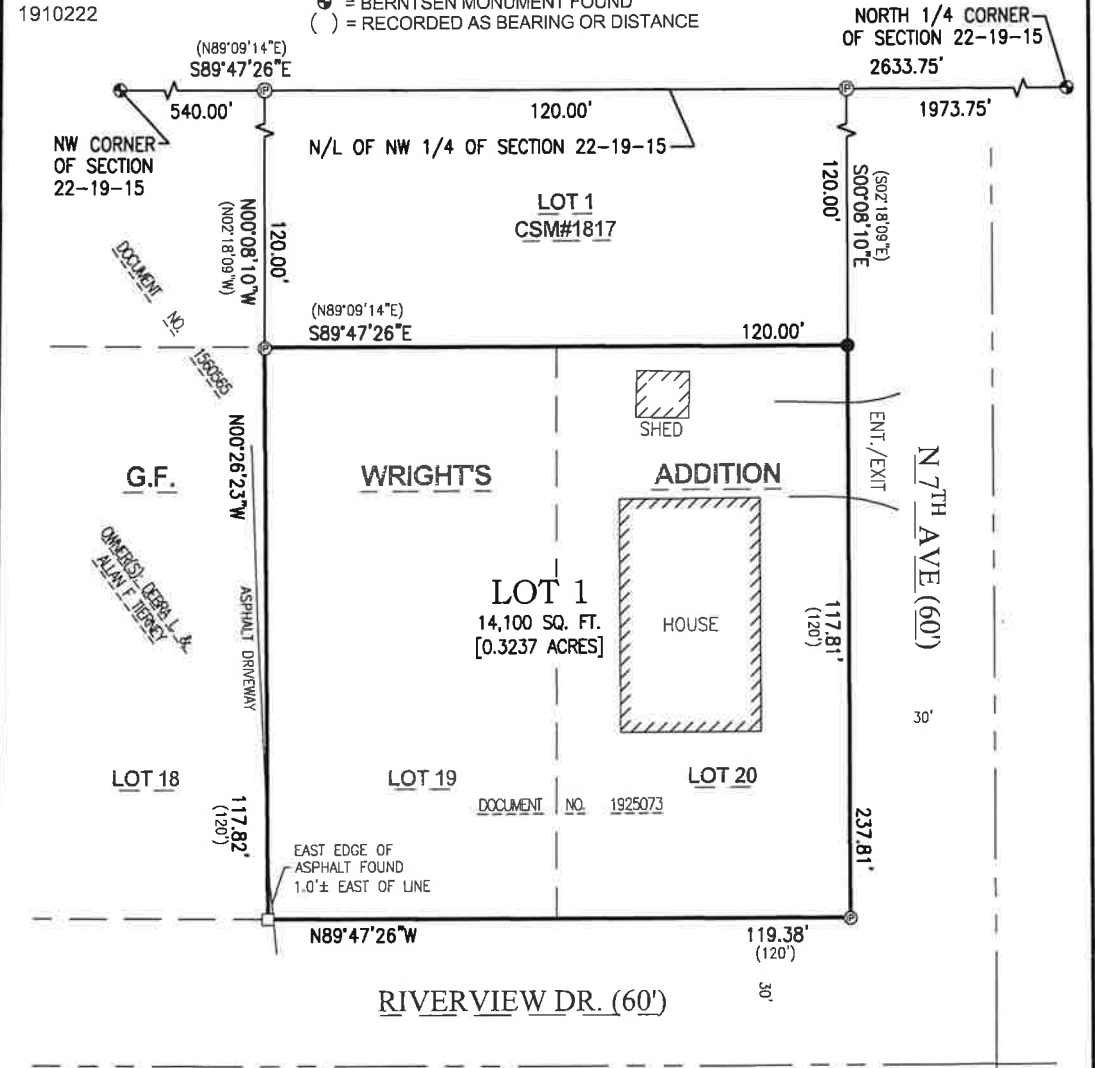
DANIEL DALE GULBRANDSEN

LEGEND:

- = 1 1/4" X 18" O.D. ROUND IRON PIPE SET,
WEIGHING 1.13 LBS. PER LIN. FT.
- ⊙ = 1 1/4" O.D. ROUND IRON PIPE FOUND
- = MAG NAIL FOUND
- ⊙ = BERNTSEN MONUMENT FOUND
- () = RECORDED AS BEARING OR DISTANCE

PARCEL NO.(S):

1910221
 1910222

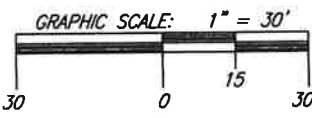


NOTES:

- PRIOR TO ANY CONSTRUCTION OR OTHER LAND USE ACTIVITY,
ALL BUILDING SETBACKS AND OTHER LAND USE REQUIREMENTS
SHOULD BE VERIFIED WITH THE VILLAGE OF WINNECONNE
- FIELD SURVEY DATE: 7-25-24

NORTH IS REFERENCED TO THE
 NORTH LINE OF THE NORTHWEST
 1/4 OF SECTION 22, TOWNSHIP 19
 NORTH, RANGE 15 EAST, VILLAGE
 OF WINNECONNE, WINNEBAGO
 COUNTY, WISCONSIN, WHICH
 BEARS S89°47'26"E PER THE
 WISCONSIN COUNTY COORDINATE
 SYSTEM (WINNEBAGO COUNTY)

CHRISTOPHER E. PERREAULT, PLS-2249 DATED
 CAROW LAND SURVEYING & ENVIRONMENTAL
 615 N. LYNNDALE DR., APPLETON, WI 54914
 N5841 STATE HIGHWAY 47-55, SHAWANO, WI 54166
 PHONE: (920)731-4168
 A2407.22 DATED: 9/4/24 DRAFTED BY: fnz/cjv-NJO



COMBINATION CERTIFIED SURVEY MAP NO. _____

BEING ALL OF LOTS 19 AND 20 OF "G.F. WRIGHT'S ADDITION TO WINNECONNE", LOCATED IN THE NORTHWEST ¼ OF THE NORTHWEST ¼ OF SECTION 22, TOWNSHIP 19 NORTH, RANGE 15 EAST, VILLAGE OF WINNECONNE, WINNEBAGO COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

I, CHRISTOPHER E. PERREAULT, REGISTERED WISCONSIN LAND SURVEYOR, CERTIFY THAT I HAVE SURVEYED, COMBINED, AND MAPPED ALL OF LOTS 19 AND 20 OF "G.F. WRIGHT'S ADDITION" TO WINNECONNE, LOCATED IN THE NORTHWEST ¼ OF THE NORTHWEST ¼ OF SECTION 22, TOWNSHIP 19 NORTH, RANGE 15 EAST, VILLAGE OF WINNECONNE, WINNEBAGO COUNTY, WISCONSIN. SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

THAT I HAVE MADE SUCH SURVEY UNDER THE DIRECTION OF CORALEE HANSEN, 634 RIVERVIEW DR., WINNECONNE, WISCONSIN 54986.

THAT THIS MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARY LINES OF THE LAND SURVEYED AND THE PARCELS COMBINED.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION ORDINANCE OF THE VILLAGE OF WINNECONNE.

CHRISTOPHER E. PERREAULT, RLS-2249 DATED
CAROW LAND SURVEYING CO., INC.
P.O. BOX 1297, 615 N. LYNNDAL DR
APPLETON, WISCONSIN 54912-1297
A2407.22 (RFR) 9-4-2024

NOTES:

- (1) THIS CSM IS ALL OF TAX PARCEL NO. (S): 1910221 AND 1910222.
- (2) THE PROPERTY OWNER (S) OF RECORD IS (ARE): DANIEL DALE GULBRANDSEN.
- (3) THE CSM IS WHOLLY CONTAINED WITHIN THE PROPERTY DESCRIBED IN THE FOLLOWING RECORDED INSTRUMENT (S): DOCUMENT NO. 1925073.

VILLAGE BOARD CERTIFICATE:

WE HEREBY CERTIFY THAT THE VILLAGE BOARD OF WINNECONNE APPROVED THIS CERTIFIED SURVEY MAP ON THE _____ DAY OF _____, 20_____.

VILLAGE PRESIDENT

VILLAGE CLERK

COMBINATION CERTIFIED SURVEY MAP NO. _____

BEING ALL OF LOTS 19 AND 20 OF "G.F. WRIGHT'S ADDITION" TO WINNECONNE, LOCATED IN THE NORTHWEST ¼ OF THE NORTHWEST ¼ OF SECTION 22, TOWNSHIP 19 NORTH, RANGE 15 EAST, VILLAGE OF WINNECONNE, WINNEBAGO COUNTY, WISCONSIN.

OWNER'S CERTIFICATE:

AS OWNER(S), I (WE) HEREBY CERTIFY THAT I (WE) CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, COMBINED AND MAPPED AS REPRESENTED HEREON. I (WE) ALSO CERTIFY THAT THIS MAP IS REQUIRED BY S.236.10 OR 236.12 OF THE WISCONSIN STATUTES TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL: VILLAGE OF WINNECONNE.

WITNESS THE HAND AND SEAL OF SAID OWNER (S) THIS _____ DAY OF _____, 20_____.

DANIEL DALE GULBRANDSEN

STATE OF WISCONSIN)
)SS
COUNTY OF WINNEBAGO)

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 20_____, THE ABOVE NAMED PERSON (S) TO ME KNOWN TO BE THE PERSON (S) WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC

MY COMMISSION EXPIRES _____

TREASURER'S CERTIFICATE:

I HEREBY CERTIFY THAT THERE ARE NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS ON ANY OF THE LAND INCLUDED ON THIS CERTIFIED SURVEY MAP.

VILLAGE TREASURER DATED COUNTY TREASURER DATED

CHRISTOPHER E. PERREAULT, RLS-2249 DATED
CAROW LAND SURVEYING CO., INC.
615 N. LYNNDALE DR., APPLETON, WI 54914
N5841 S.T.H. "47-55", SHAWANO, WI 54166
A2407.22 (RFR) 9-4-2024